

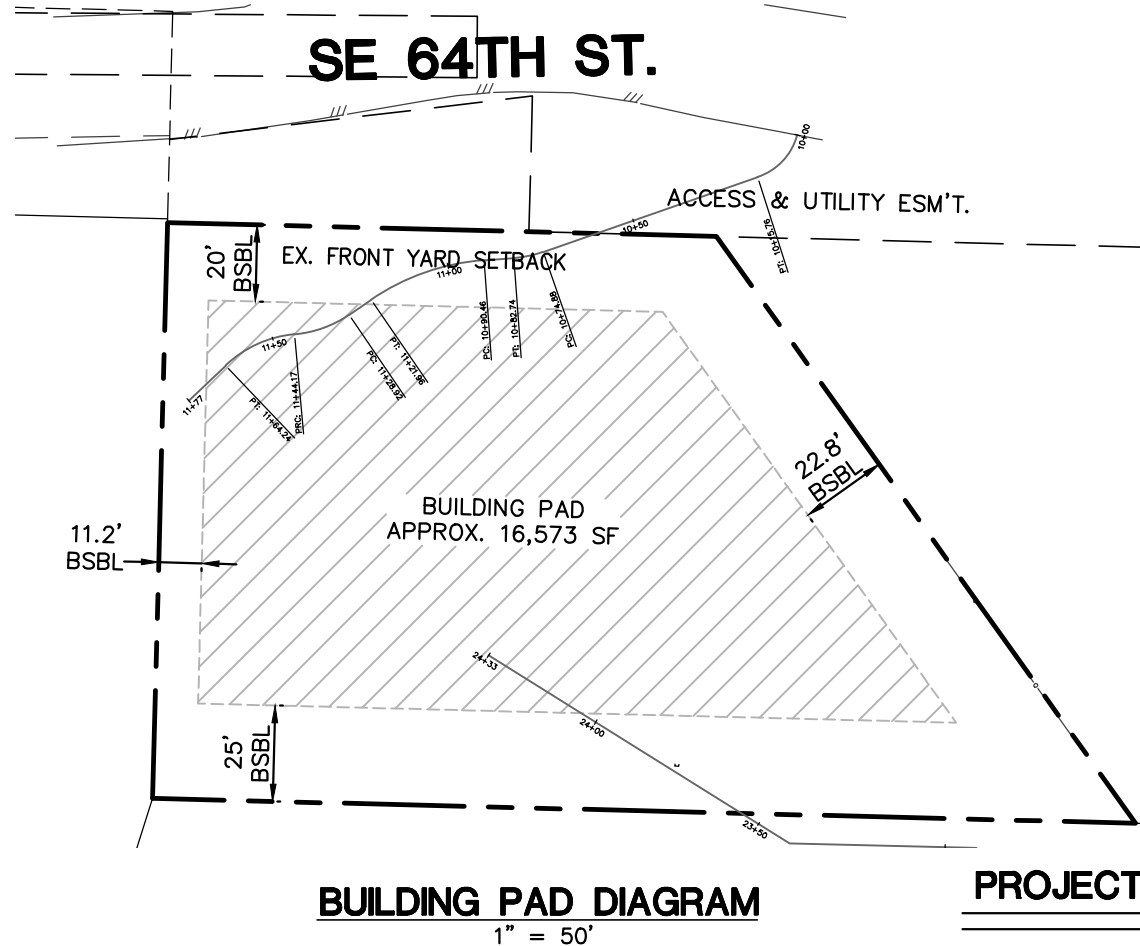
PORTION OF NE1/4 OF SECTION 30, TOWNSHIP 24N, RANGE 5E, WM ALTMAN PARCEL A

LEGEND	
	FOUND MONUMENT IN CASE
	FOUND REBAR/CAP AS NOTED
	UTILITY POLE W/UNDERGROUND (UG) CONDUIT
	UTILITY POLE W/ LIGHT, UG CONDUIT & TRANSFORMER
	UTILITY POLE W/ LIGHT (LP)
	UTILITY POLE (PP)
	POWER POLE GUY ANCHOR (GUY)
	TELEPHONE MANHOLE (TMH)
	SANITARY SEWER MANHOLE (SSMH)
	POWER METER (EM)
	FIRE HYDRANT (FH)
	WATER METER (WM)
	WATER VALVE (WV)
	CATCH BASIN (CB)
	MAILBOX (MB)
	SIGN
	GAS METER (GM)
	GAS VALVE (GV)
	APPROX. GAS LINE LOCATION
	APPROX. WATER LINE LOCATION
	APPROX. SANITARY SEWER LINE LOCATION
	APPROX. STORM DRAIN LINE LOCATION
	APPROX. TELECOMMUNICATIONS (TEL) LOCATION
	APPROX. OVERHEAD POWER & TEL LOCATION
	EXISTING ASPHALT PAVING
	EXISTING CONCRETE
	EXISTING GRAVEL
	DECIDUOUS TREE TO REMAIN
	CONIFEROUS TREE TO REMAIN
	DECIDUOUS TREE TO BE REMOVED
	CONIFEROUS TREE TO BE REMOVED
	PROPOSED STORM DRAIN
	PROPOSED SANITARY SIDE SEWER
	PROPOSED WATER SERVICE
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE

ABBREVIATIONS	
12'B	BIRCH
12'CY	CHERRY
12'D	DECIDUOUS
12'M	MAPLE
12'C	CEDAR
12'F	FIR
BFNC	WOOD FENCE
CLFNC	CHAIN LINK FENCE
EX.	EXISTING
LOC.	LOCATION
(REM.)	REMOVE

SIDE YARDS

- LOT WIDTH: 199.5'
- SUM OF BOTH SIDE YARDS: 33.9' (17% OF LOT WIDTH PER MICC 19.02.02.C.1.c.i (b))
- 33% OF SUM (MINIMUM OF ANY ONE SIDE): 11.2' (LARGER OF 10 FEET OF 33% OF SIDE YARD AGGREGATE, PER MICC 19.02.02.C.1.c.ii AND 19.02.02.C.1.c.iii (b))



PROJECT SITE DATA - PARCEL A

OWNER: ESTATE OF JAMES H. ALTMAN, SR.
 SITE ADDRESS: 91XX SE 64TH STREET, MERCER ISLAND, WA 98040
 TAX ACCT. NO.: 302405-9001
 TOTAL LOT AREA: 29,921 SF ± OR 0.687 AC ±

PROJECT CONTACT LIST:

OWNER: ESTATE OF JAMES H. ALTMAN, SR.
 ARCHITECTURAL DESIGNER: MCLEOD HOME DESIGNS
 1900 FOWLER STREET, STE F
 RICHLAND, WASHINGTON 99352
 CONTACT: MARK MCLEOD
 PHONE: (509) 528-2884

PROJECT CONTACT: PLAN TO PERMIT, LLC
 9311 SE 36TH STREET, STE 204
 MERCER ISLAND, WASHINGTON 98040
 CONTACT: GEORGE STEIRER
 PHONE: (206) 835-1234

CIVIL ENGINEER: LITCHFIELD ENGINEERING
 12840 81ST AVENUE N.E.
 KIRKLAND, WASHINGTON 98034
 CONTACT: KEITH LITCHFIELD, P.E.
 PHONE: (425) 821-5038

SURVEYOR: INFORMED LAND SURVEY, LLC
 3215 S. 12TH STREET
 TACOMA, WASHINGTON 98405
 CONTACT: EVAN WAHLSTROM
 PHONE: (253) 627-2070

UTILITY CONTACT LIST:

SANITARY SEWER: CITY OF MERCER ISLAND
 (206) 275-7783

WATER: CITY OF MERCER ISLAND
 (206) 275-7783

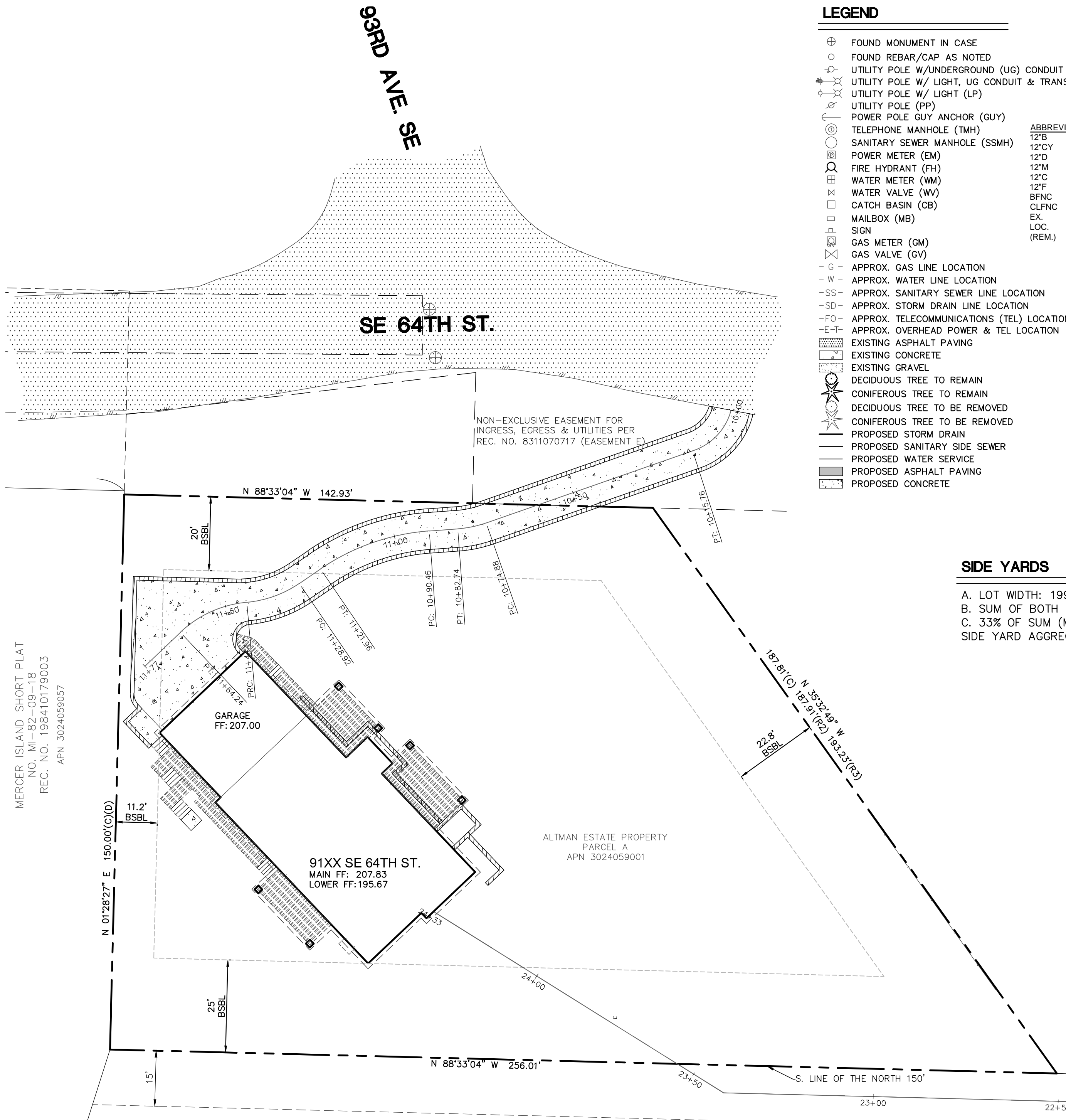
ELECTRIC: PUGET SOUND ENERGY
 PHONE: 1-800-321-4123

GAS: PUGET SOUND ENERGY
 PHONE: 1-800-321-4123

TELEPHONE: CENTURYLINK
 PHONE: 1-800-475-7526

SHEET INDEX

- COVER SHEET
- TESS PLAN
- SITE DEVELOPMENT PLAN
- PROFILES
- CITY STANDARD DETAILS



LÉGAL DESCRIPTION PARCEL "A"

APN 302405-9001:

THAT PORTION OF THE NORTH 150 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY WASHINGTON, LYING WESTERLY OF EAST MERCER WAY AND LYING EASTERLY OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SECTION 30, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON, WHICH BEARS SOUTH 88 DEGREES 33'02" EAST 550.23 FEET, FROM THE NORTH QUARTER OF SAID SECTION 30; THENCE SOUTH 1 DEGREE 28'29" WEST 150 FEET TO THE SOUTH LINE OF THE NORTH 150 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE TERMINUS OF SAID LINE, KNOWN AS THE ORIGINAL PARCEL, WHICH PORTION LIES WESTERLY OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF THE ORIGINAL PARCEL WHICH LIES 342.98 FEET WEST OF THE WEST LINE OF EAST MERCER WAY AND A POINT ON THE SOUTH LINE OF THE ORIGINAL PARCEL WHICH LIES 221 FEET WEST OF THE WEST LINE OF EAST MERCER WAY;

TOGETHER WITH A NONEXCLUSIVE EASEMENT FOR ROAD AND UTILITIES OVER AND ACROSS THE SOUTH 25 FEET OF THE FOLLOWING DESCRIBED TRACT: THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 24, NORTH, RANGE 5, EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF SAID SUBDIVISION WITH THE WESTERLY MARGIN OF EAST MERCER WAY; THENCE NORTH 88 DEGREES 33'02" WEST 117.98 FEET TO TRUE POINT BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 88 DEGREES 33'02" EAST 117.98 FEET; THENCE SOUTHERLY

ALONG SAID WESTERLY MARGIN OF EAST MERCER WAY TO THE SOUTH LINE OF THE NORTH 150 OF SAID SUBDIVISION; THENCE NORTH 88 DEGREES 33'02" WEST ALONG SAID SOUTH LINE 118 FEET; THENCE NORTHERLY TO THE TRUE POINT OF BEGINNING;

TOGETHER WITH A NONEXCLUSIVE EASEMENT FOR ROAD AND UTILITIES OVER AND ACROSS THE SOUTH 30 FEET OF THE FOLLOWING DESCRIBED TRACT:

THAT PORTION OF THE NORTH 150 FEET OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, T.24N, R.5EW, IN KING COUNTY WASHINGTON, LYING WESTERLY OF EAST MERCER WAY AND LYING EASTERLY OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SECTION 30, T.24N, R.5E WM, IN KING COUNTY, WASHINGTON, WHICH BEARS SOUTH 88 DEGREES 33'02" EAST 550.23 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 30; THENCE SOUTH 1 DEGREE 28'29" WEST 150 FEET TO THE SOUTH LINE OF THE NORTH 150 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND THE TERMINUS OF SAID LINE, KNOWN AS THE ORIGINAL PARCEL, WHICH PORTION LIES WESTERLY OF A LINE DRAWN FROM A POINT ON THE NORTH LINE OF THE ABOVE-DESCRIBED PROPERTY WHICH LIES 117.98 FEET WEST OF THE WEST LINE OF EAST MERCER WAY TO A POINT ON THE SOUTH LINE OF THE ORIGINAL PARCEL WHICH POINT LIES 118 FEET WEST OF THE WEST LINE OF EAST MERCER WAY; SAID LOT 2 TO BE BOUNDED ON THE WEST BY A LINE DRAWN FROM A POINT ON THE NORTH LINE OF THE ORIGINAL PARCEL, WHICH POINT LIES 342.98 FEET WEST OF THE WEST LINE OF EAST MERCER WAY AND A POINT ON THE SOUTH LINE OF THE ORIGINAL PARCEL WHICH LIES 221 FEET WEST OF THE WEST LINE OF EAST MERCER WAY.

SUBJECT TO: RESERVATIONS, RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

HORIZONTAL DATUM

NAD 1983(2011); PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

EXISTING UTILITY NOTE:

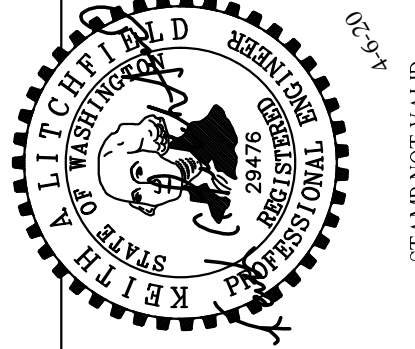
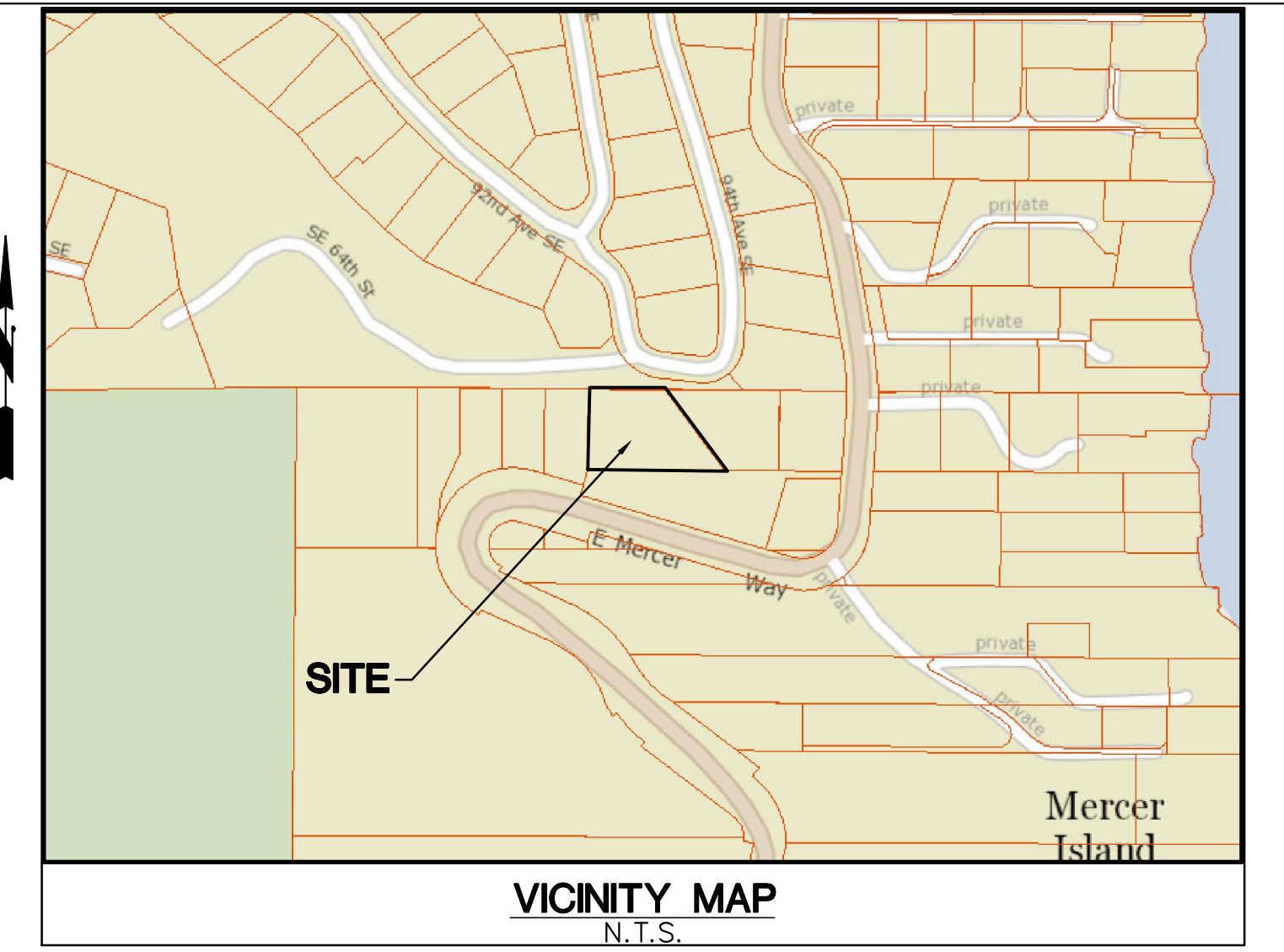
LOCATION OF EXISTING UTILITIES SHOWN, IF ANY, IS APPROXIMATE AND MAY NOT BE ACCURATE OR ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

SURVEY NOTE:

EXISTING SURVEY FEATURES, BOUNDARY AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, LITCHFIELD ENGINEERING CANNOT ENSURE THE ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF DATA/INFORMATION PROVIDED BY OTHERS, OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

ADDITIONAL SURVEY NOTE:

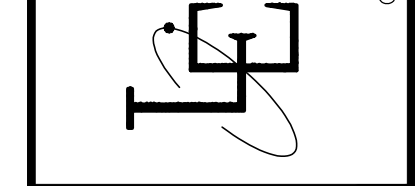
TOPOGRAPHY NOTE: THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY INFORMED LAND SURVEY, LLC SEE SURVEY FOR SECTION BREAKDOWN.



DATE	NOTES
4-6-2020	SUBMITTED TO CLIENT

LITCHFIELD ENGINEERING

12840 81ST AVENUE NE
 Kirkland, WA 98034
 Tel: (425) 821-5038 Fax: (425) 821-5739



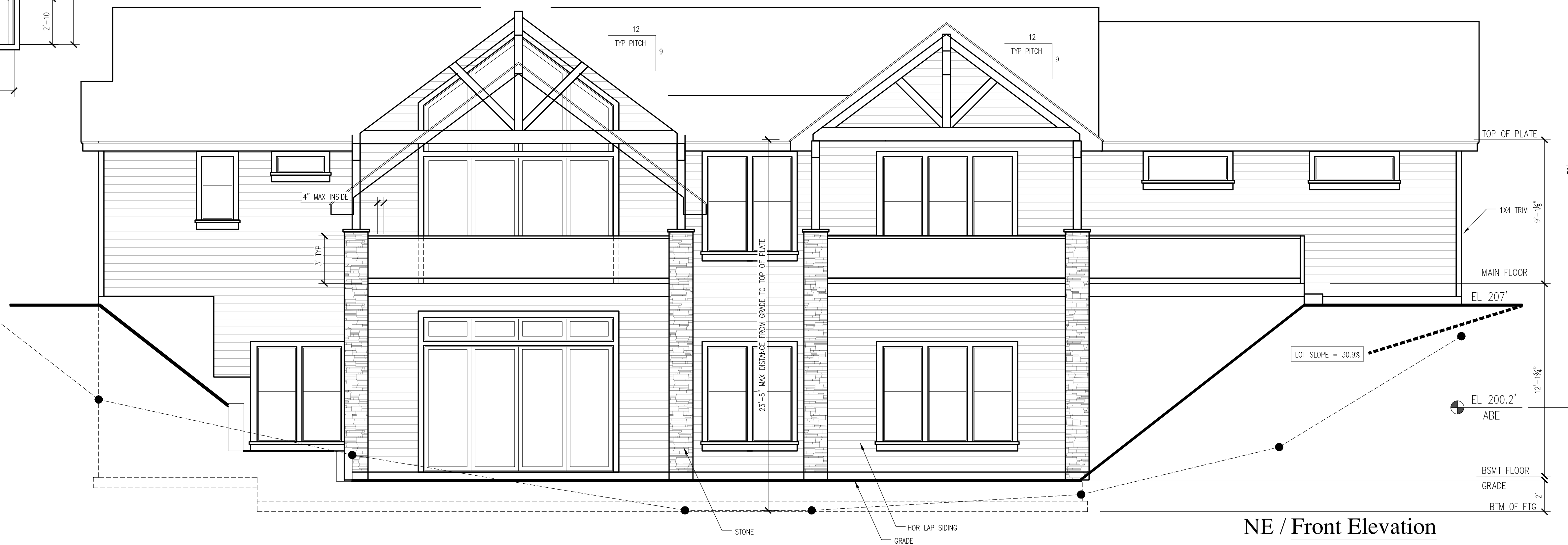
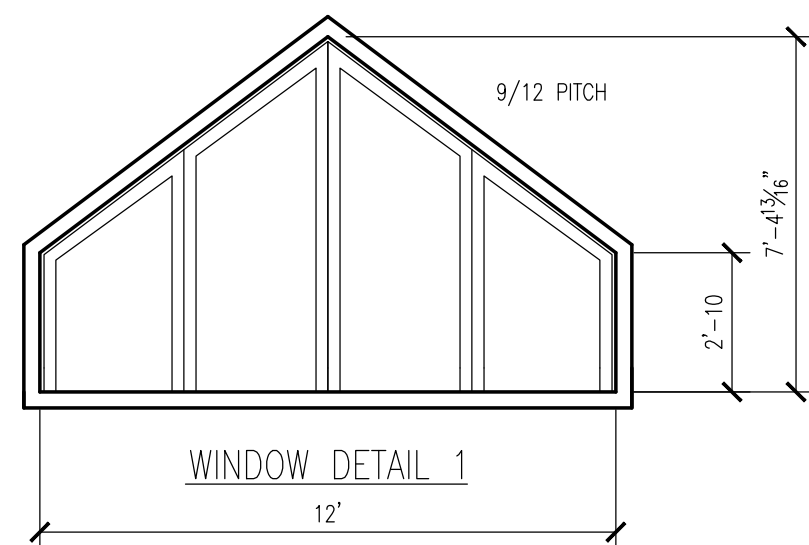
**COVER SHEET A
 ALTMAN PARCEL A
 MERCER ISLAND, WASHINGTON**

ESTATE OF JAMES H. ALTMAN, SR.
 MERCER ISLAND, WASHINGTON 98040

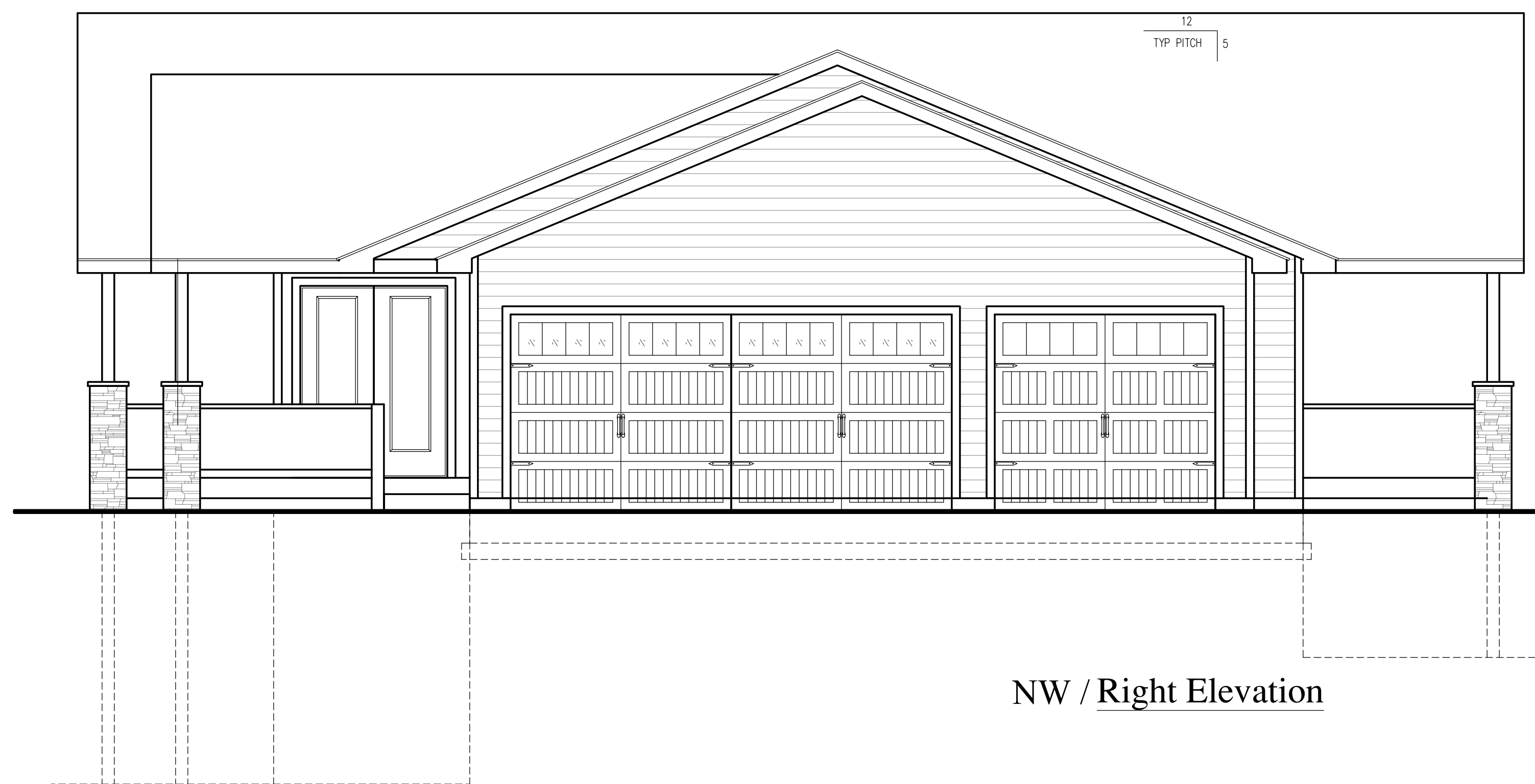
Call 2 Working Days Before You Dig
1-800-424-5555
 Utilities Underground Location Center
 (ID, MT, ND, OR, WA)

APPROVED: CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP

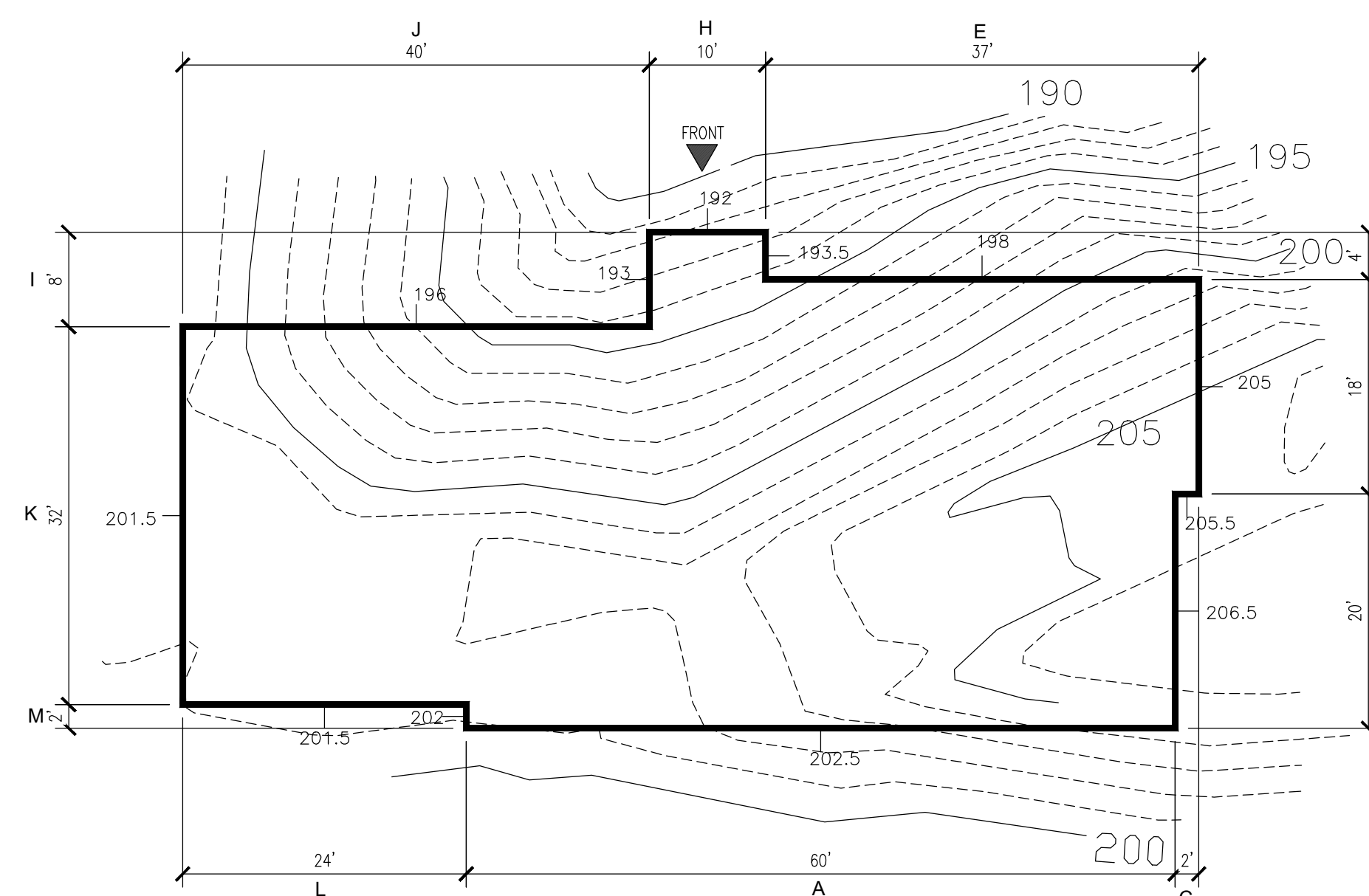
DRAWING: C:\Users\LE\Projects\Map-SFR\Altman_M_LotA\LE_Dwg\Middle_LotA\LE_Altman_Middle_Lot_A_4-9-20.dwg PLOT BY: LE Apr 09, 2020 @ 12:13pm



NE / Front Elevation



NW / Right Elevation



wall	distance	elev in ft.
A	60	202.5
B	206	4120
C	2	205.5
D	18	205
E	37	198
F	4	193.5
H	10	192
I	8	193
J	40	196
K	32	201.5
L	24	201.5
M	2	202

start at back wall bed #2, then moves counter clock wise

garage front
garage side
garage back

TOTALS: 257 | 51463 | 200.2451362 | ABE



www.mcleodhomedesigns.com
1900 Fowler Street, Suite F
Richland, WA 99352 509-528-2884

Altman Middle Lot
APN 3024059001

Building Information:

Main Floor SQ FT:	2293
Second Floor SQ FT:	0
Basement SQ FT:	2293
TOTAL SQ FT:	4586

Unfinished SQ FT:

Garage SQ FT:	0
Covered Area SQ FT:	768
	579

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THIS PLAN IS FOR ONE TIME CONSTRUCTION USE.

Ftg / Fdn / Roof Plan
ALTMAN'S MIDDLE LOT
4530 5F Rancher
BUILDING ADDRESS: Mercer Island - APN 3024059001

DWG R4530X0A MIDDLE LOT.dwg
Date 4/8/20 5:37:PM
By: Mark McLeod
Scale 1/4" = 1'

Approved

Engineering Required

ALL POSTS, SHEAR WALLS, BEAMS, FOUNDATION, FOOTINGS, & OTHER STRUCTURAL MEMBERS TO BE FULLY ENGINEERED AS NEEDED.

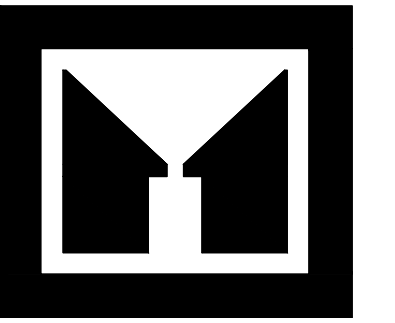
ALL ENGINEERING DOCUMENTATION, FLOORING, AND ROOF PACKAGES SUPERCEDED THESE DRAWINGS.

1a

Engineering Required

ALL POSTS, SHEAR WALLS, BEAMS, FOUNDATION, FOOTINGS, & OTHER STRUCTURAL MEMBERS TO BE FULLY ENGINEERED AS NEEDED.

ALL ENGINEERING DOCUMENTATION, FLOORING, AND ROOF PACKAGES SUPERCEDED THESE DRAWINGS.



MCLEOD
HOME DESIGNS

www.mcleodhomedesigns.com
1900 Fowler Street, Suite F
Richland, WA 99352 509-528-2884

Altman Middle Lot
APN 3024059001

Building Information:
Main Floor SQ FT: 2293
Second Floor SQ FT: 0
Basement SQ FT: 2293
TOTAL SQ FT: 4586

Unfinished SQ FT: 0
Garage SQ FT: 768
Covered Area SQ FT: 579

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Ftg / Fdn / Roof Plan

ALTMAN'S MIDDLE LOT
4530 SF Rancher
BUILDING ADDRESS: Mercer Island - APN 3024059001

DWG R4530X0A MIDDLE LOT.dwg

Date 4/8/20 5:37:PM

By: Mark McLeod

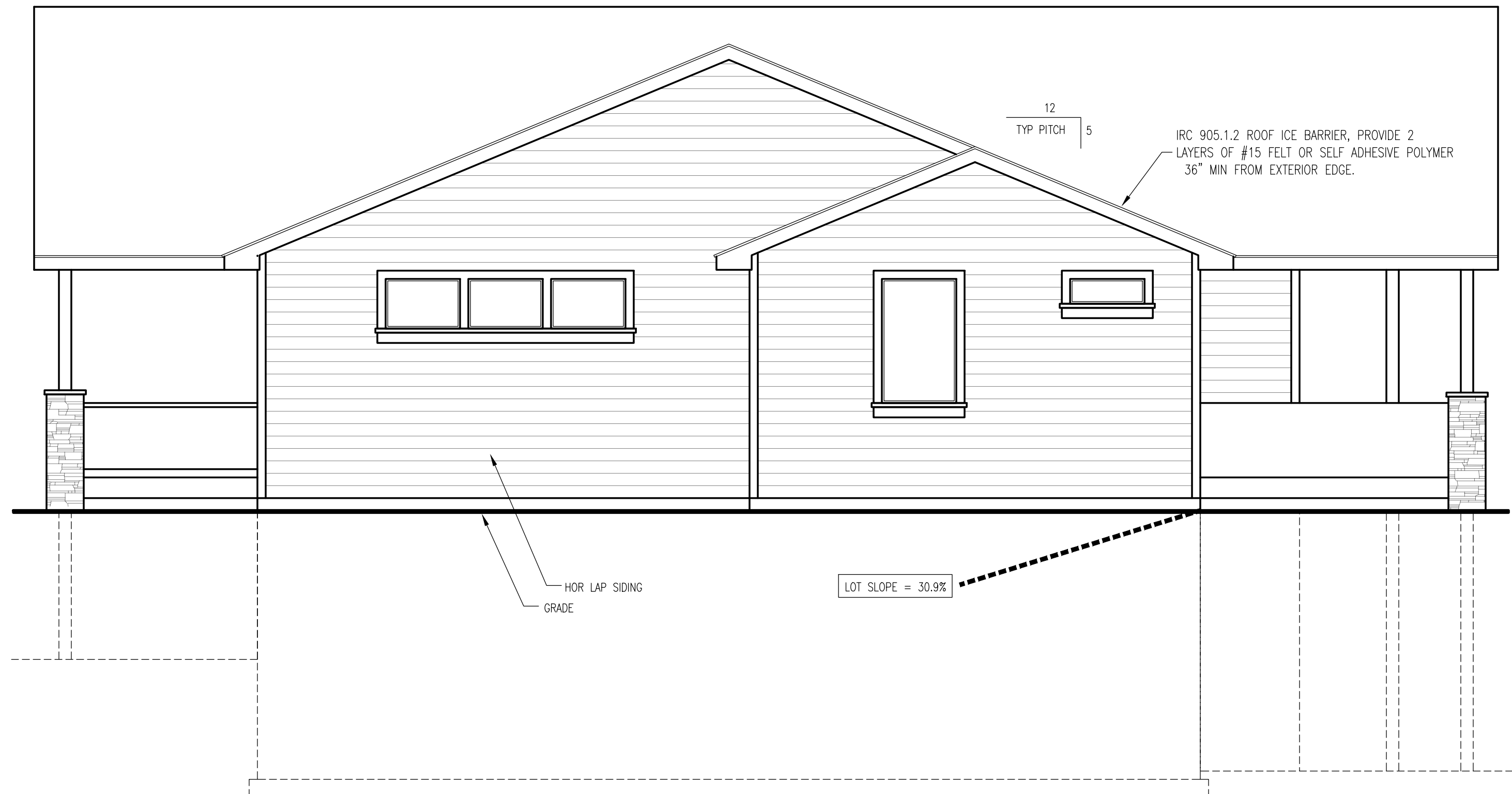
Scale 1/4" = 1'

Approved

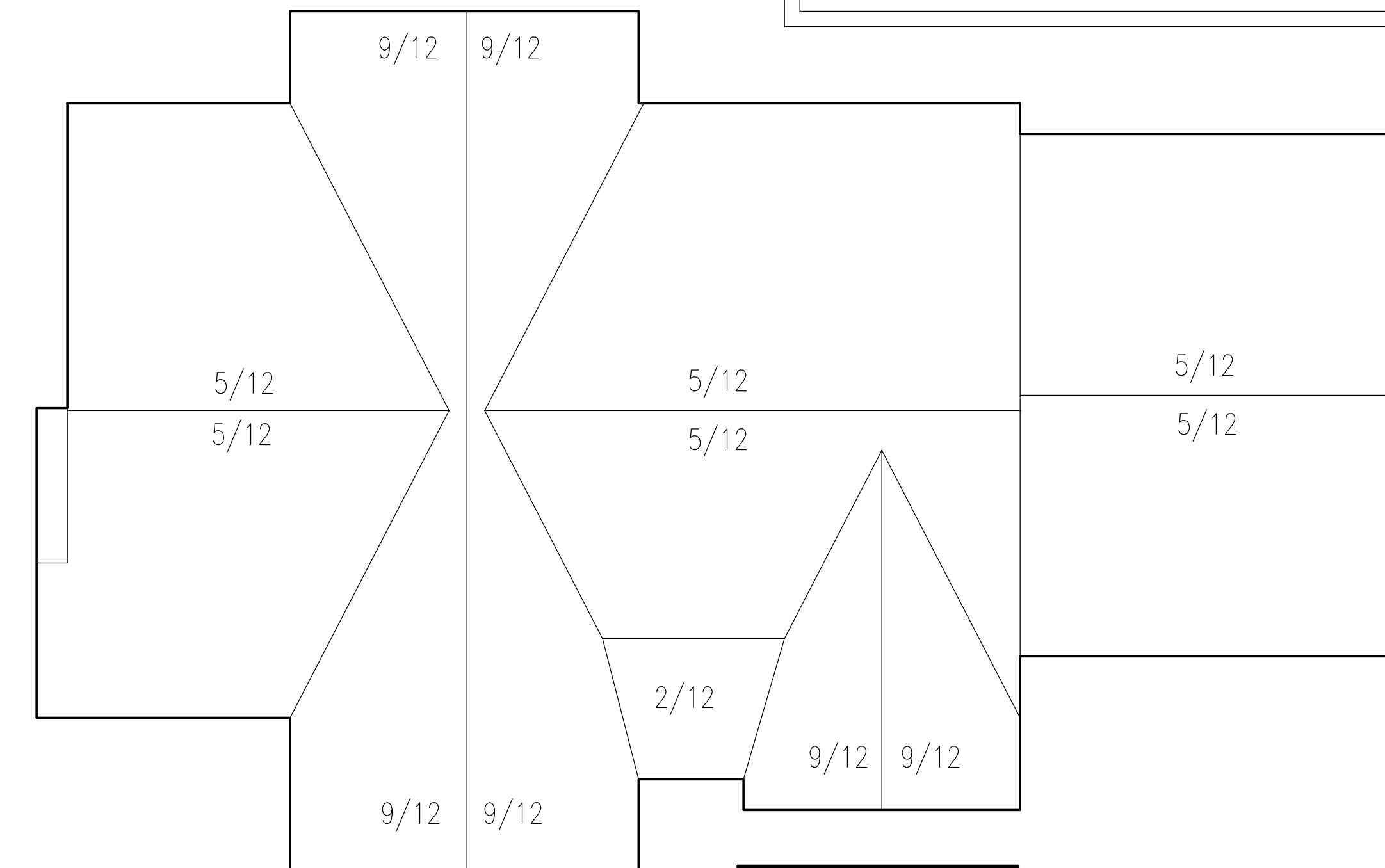
1b

REV: 0

4/8/20



SE / Left Elevation



Roof Truss Providers
PLEASE PROVIDE YOUR PLANS TO THIS OFFICE VIA EMAIL (mrcm01@gmail.com).

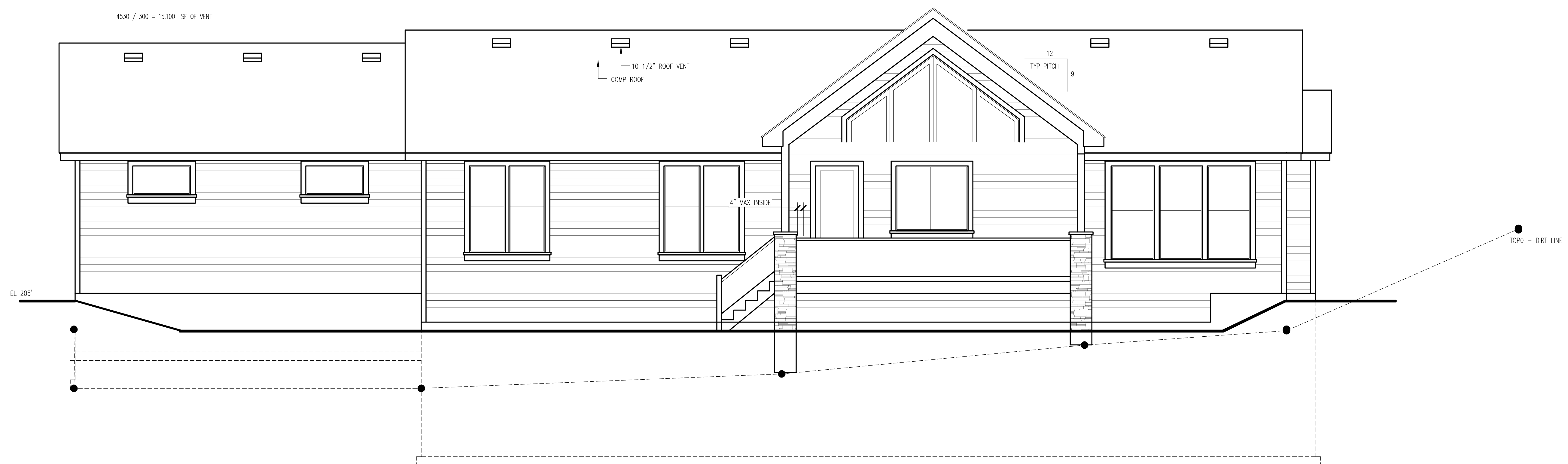
NOTE:
TRUSS MFR TO VERIFY BEARING POINTS. IF NEW BEARING IS NEEDED, MFR MUST INFORM THIS DESIGNER (509) 528-2884

Roof Plan

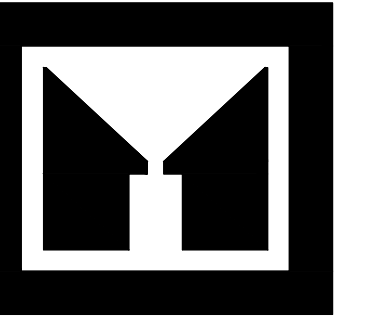
SCALE: 1/8" = 1'-0"

NOTE:
PROVIDE VENTILATION PER IRC AREA / 300, IF 50% IS PROVIDED BY SOFFIT VENT

4530 / 300 = 15,100 SF OF VENT



SW / Rear Elevation



MCLEOD
HOME DESIGNS

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1900 Fewer Street, Suite F
Richland, WA 99352 509-528-2884

Altman Middle Lot
APN 3024059001

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Ftg / Fdn / Roof Plan

ALTMAN'S MIDDLE LOT
4530 SF Rancher

BUILDING ADDRESS: Mercer Island - APN 3024059001

DWG R4530X0A MIDDLE LOT.dwg

Date 4/8/20 5:37:PM

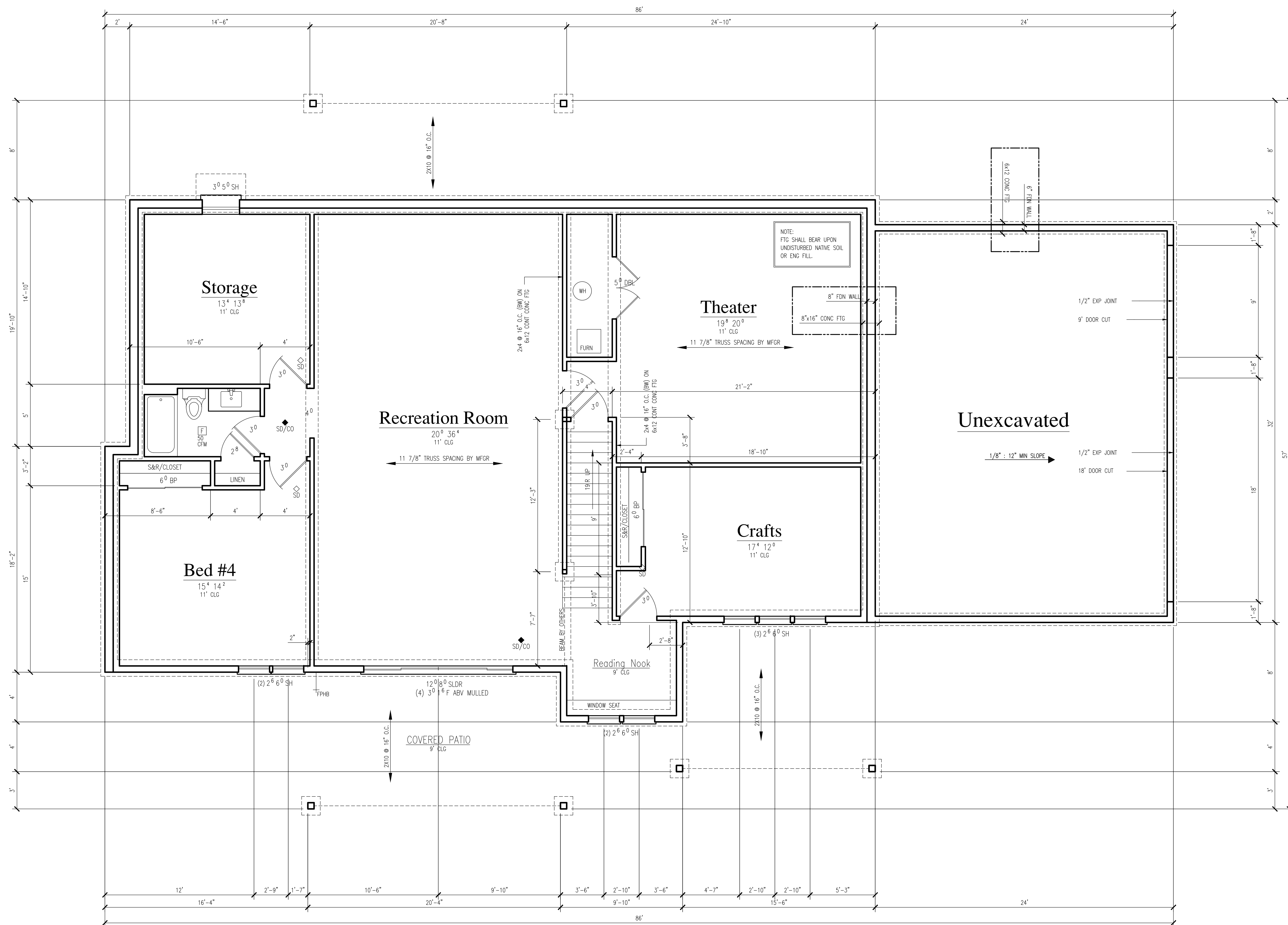
By: Mark McLeod

Scale 1/4" = 1'

Approved

2

REV: 0 4/8/20

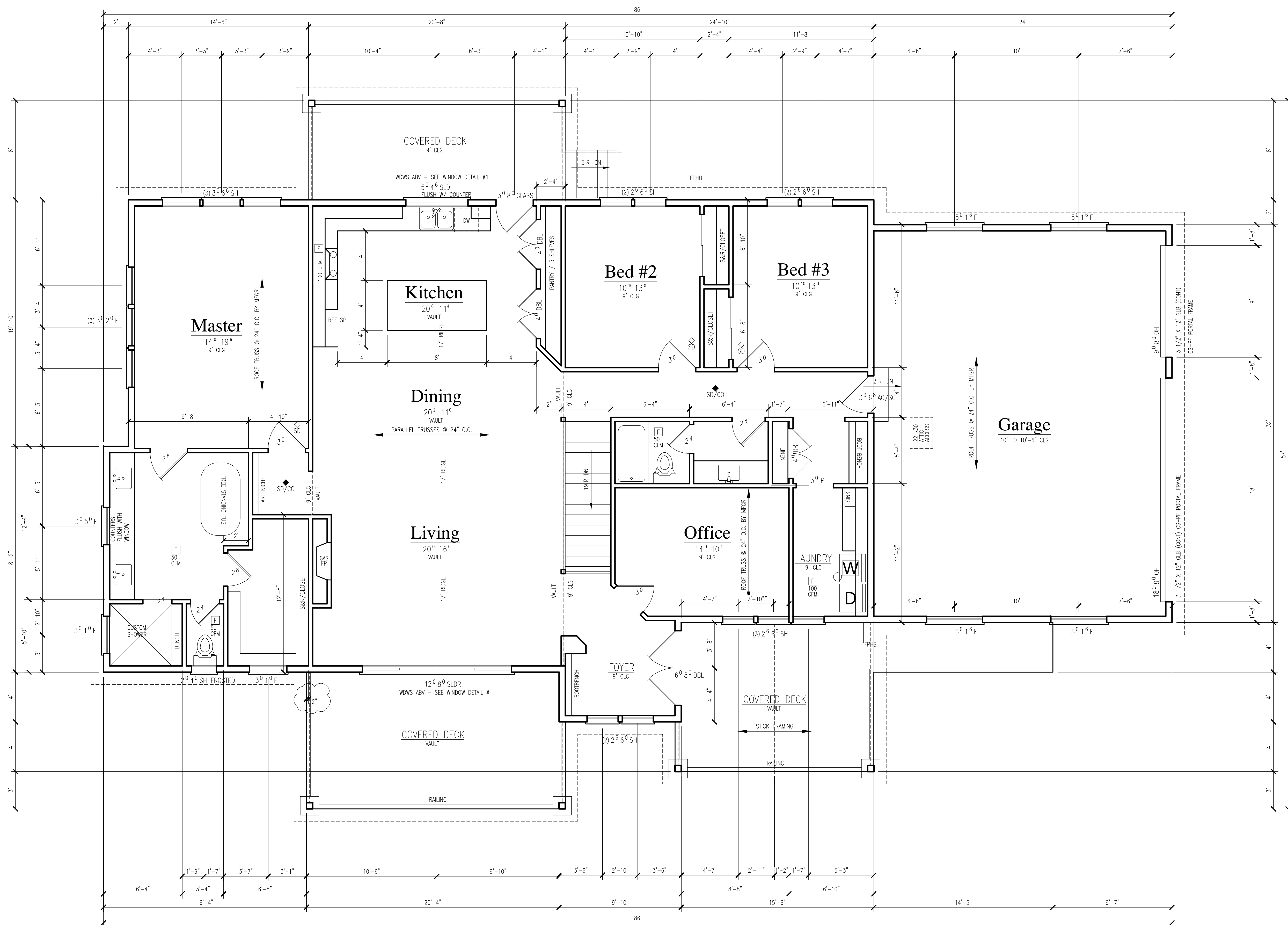


Footings & Foundation Plan

Engineering Required

ALL POSTS, SHEAR WALLS, BEAMS, FOUNDATION, FOOTINGS, & OTHER STRUCTURAL MEMBERS TO BE FULLY ENGINEERED AS NEEDED.

ALL ENGINEERING DOCUMENTATION, FLOORING, AND ROOF PACKAGES SUPERCEDED THESE DRAWINGS.



Main Floor Plan

Engineering Required

ALL POSTS, SHEAR WALLS, BEAMS, FOUNDATION, FOOTINGS, & OTHER STRUCTURAL MEMBERS TO BE FULLY ENGINEERED AS NEEDED.
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ROOF TRUSS PROVIDERS
 PLEASE PROVIDE YOUR PLANS TO THIS OFFICE VIA EMAIL (mwcms@gmail.com).
FLOOR TRUSS PROVIDERS
 PLEASE PROVIDE YOUR PLANS TO THIS OFFICE VIA EMAIL (mwcms@gmail.com).

Braced Wall Schedule

CONTINUOUS SHEATHING CONDITION (SEISMIC D., WIND, RS)
 ABW PER DETAIL SH 4 (IF NEEDED)
 CS-PF PER DETAIL SH 4
 CS-WSP 86 COMMON 4" EDGE 12" FIELD
 GB 1 3/8 (13 GA) GB SCREW - 7" EDGE 7" FIELD

LEGEND

SYMBOL	DESCRIPTION
(H)	HAMMER ARRESTOR
(F)	FAN VENTED TO EXTERIOR
SD/CO	SMOKE / CARBON MONOXIDE DETECTOR (NOTE 15)
FP/HB	FROST PROOF HOSE BIB
SC/AC	SOLID CORE / AUTO CLOSER
T	SAFETY OR TEMPERED GLASS

ENERGY CREDITS

#	DESCRIPTION	CREDITS
2a	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2a Compliance based on R402.4.1.2: Reduce the test air leakage to 3.0 air changes per hour maximum and All whole house ventilation requirements as determined by section M1507.3 of the international Residential Code shall be met with a high efficiency fan (maximum 0.35 including an ECM motor are allowed, provided that they are controlled to operate at low speed in ventilation only mode.	0.5
3b	HIGH EFFICIENCY HVAC EQUIPMENT 3b: Air-source heat pump with minimum HSPF of 9.0	1
5a	EFFICIENT WATER HEATING 5a: All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated in 1.0 GPM or less.	0.5
5c	EFFICIENT WATER HEATING 5c: Electric heat pump water heater with a minimum Ef of 2.0	1.5
TOTAL		3.5

BUILDING INFORMATION

MAIN FLOOR SF:	2293
SECOND FLOOR SF:	0
BASEMENT FLOOR SF:	2237
TOTAL CONDITIONED SF:	4530
TOTAL UNCONDITIONED SF:	
UNFINISHED SF:	0
GARAGE SF:	768
COVERED AREA SF:	0

Builders Responsibility

THESE DRAWINGS ARE IN PART DIAGRAMMATICAL AND DO NOT SHOW IN DETAIL HOW WORKMANSHIP, MATERIAL AND INSTALLATION OF MATERIAL ARE TO BE BROUGHT TOGETHER TO COMPLETE THE WHOLE STRUCTURE. IT IS THE RESPONSIBILITY OF THE BUILDER TO BUILD THE STRUCTURE TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, COUNTY, CITY CODES AS THEY APPLY TO EACH COMPONENT.

General Notes:

- PROVIDE 30" RANCE AND HOOD W/ 100 CFM FAN VENTED TO EXTERIOR.
- PROVIDE WATER RESISTANT GYPSUM BOARD IN TUB OR SHOWER RECESS.
- PROVIDE 50 GALLON (MIN) WATER HEATER W/ ASME RATED TEMPERATURE AND PRESSURE RELIEF VALVE W/ 3/4" COPPER DRIP
- BUILDER TO VERIFY ALL ASPECTS AND DIMENSIONS OF THESE DRAWINGS. ANY PROBLEMS WITH THESE DRAWINGS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THIS DESIGNER, MARK MCLEOD (509) 528-2884.
- DO NOT SCALE THESE DRAWINGS.
- EXTERIOR WALLS OF HOUSE ARE TO BE 2 X 6, UNLESS OTHERWISE SPECIFIED.
- INTERIOR WALL OF HOUSE ARE TO BE 2 X 4, UNLESS OTHERWISE SPECIFIED.
- EXTERIOR WALLS OF GARAGE ARE TO BE 2 X 6, UNLESS OTHERWISE SPECIFIED.
- HOUSE INSULATION AS NOTED BELOW:
 EXTERIOR WALLS = R-21 BATT INSULATION
 EXTERIOR CEILING = R-49 BLOWN INSULATION
 EXTERIOR FLOORS = R-30 BATT INSULATION
- ALL FINISH GRADE WORK SHALL BE NO CLOSER THAN 6" TO FINISH S/DING.
- ALL HEADER MATERIAL FOR BEARING WALLS TO BE 3 1/2" x 9" G.L. HEADER STOCK UNLESS OTHERWISE NOTED.
- DIMENSIONING FORMAT AS FOLLOWS:
 OVER ALL DIMENSIONS SHALL BE FROM EXTERIOR TO EXTERIOR OF BUILDING.
 BREAKS OR JOGS IN BUILDING SHALL BE DIMENSIONED FROM EXTERIOR OF BUILDING.
 INTERIOR WALL DIMENSIONS:
 VERTICALLY SHALL BE TAKEN FROM THE TOP SIDE OF THE WALL.
 HORIZONTAL WALLS SHALL BE TAKEN FROM THE LEFT SIDE OF WALL.
 OPENINGS SHALL BE DIMENSIONED FROM CENTER (EXCEPT GARAGE OPENINGS)
- ANGULAR WALLS ARE ON A 45 DEGREE ANGLE, UNLESS OTHERWISE NOTED.
- PROVIDE GAS FIREPLACE PER IRC 302.13 (per plan)
- NOTE ALL SMOKE DETECTORS ARE ELECTRICALLY HARROWED.
- ALL WINDOWS ARE TO BE .3 U FACTOR MAX.

www.mcleodhomedesigns.com
 1900 Fowler Street, Suite F
 Richland, WA 99352 509-528-2884

Altman Middle Lot
 APN 3024059001

Building Information:

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Second Floor SQ FT:	0
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Main Floor Plans

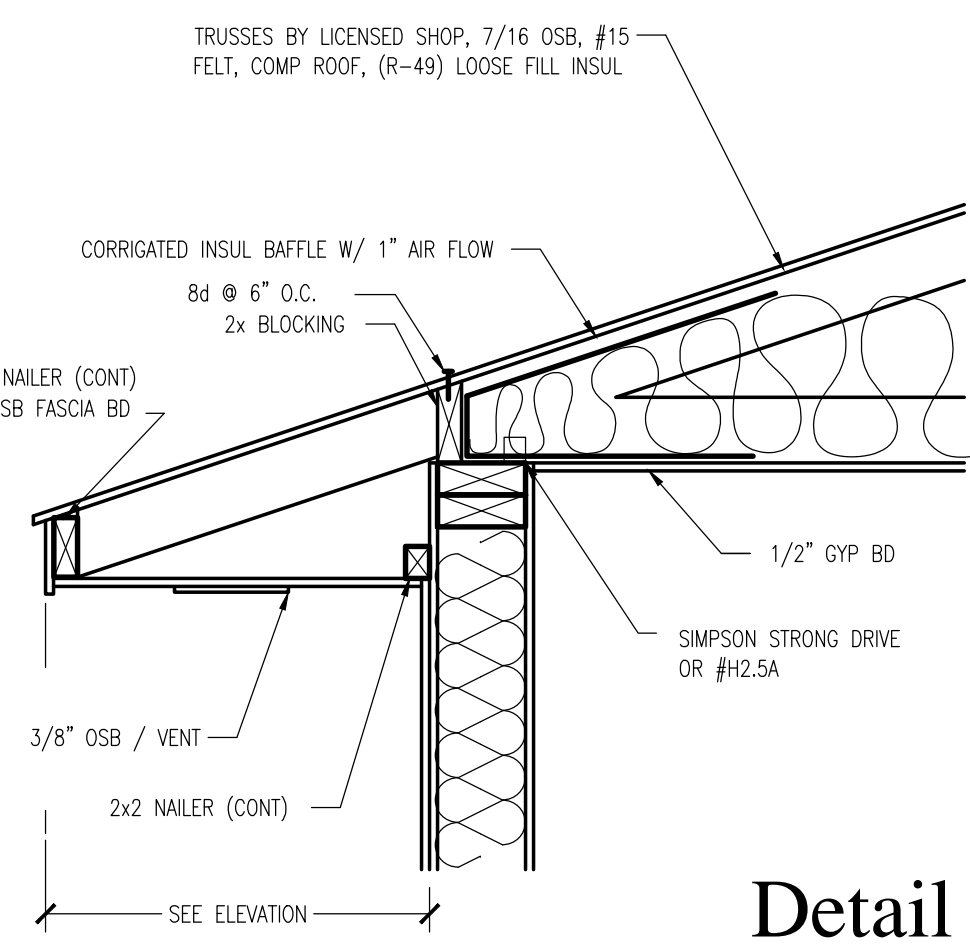
ALTMAN'S MIDDLE LOT
 4530 SF Rancher
 BUILDING ADDRESS: Mercer Island - APN 3024059001

DWG R4530X0A MIDDLE LOT.dwg

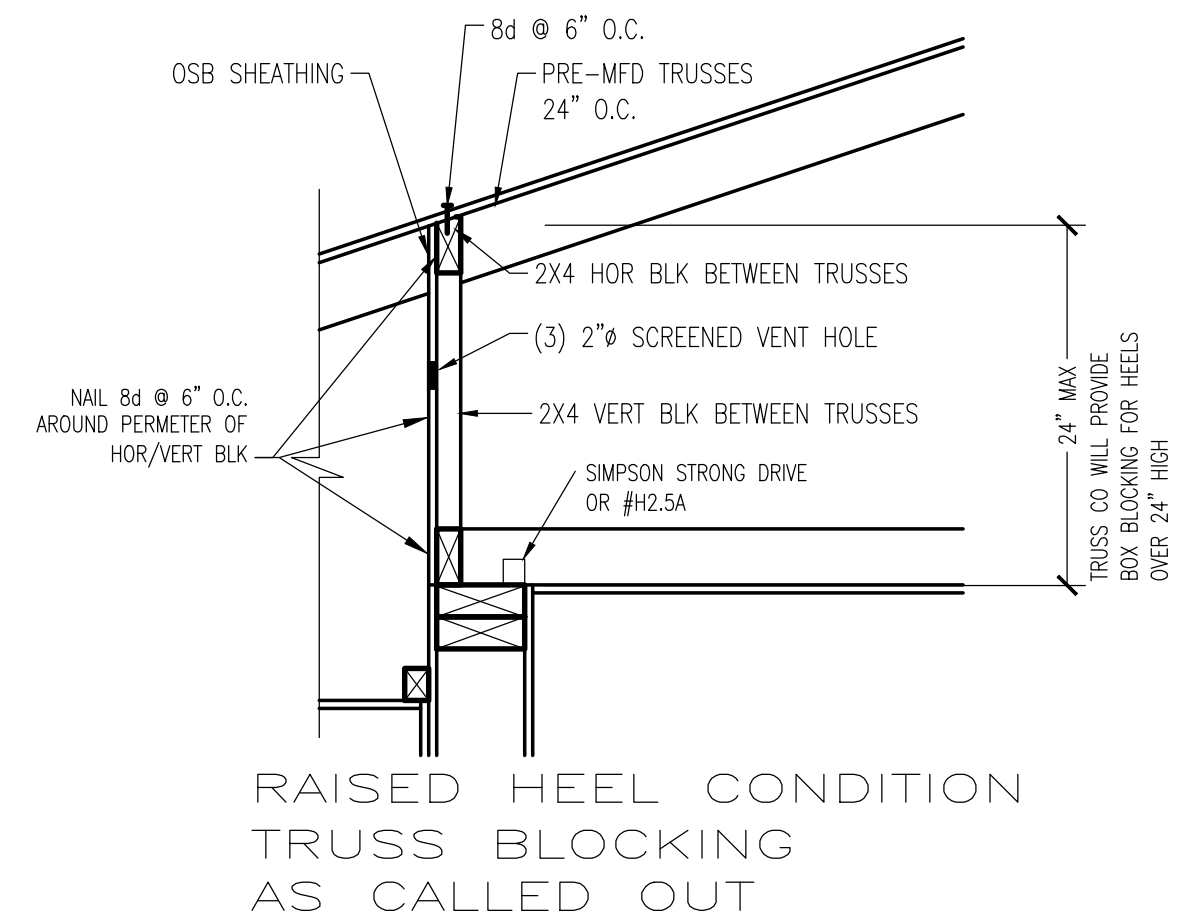
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By:	Mark McLeod
Scale	1/4" = 1'
Approved	

REV: 0 4/8/20

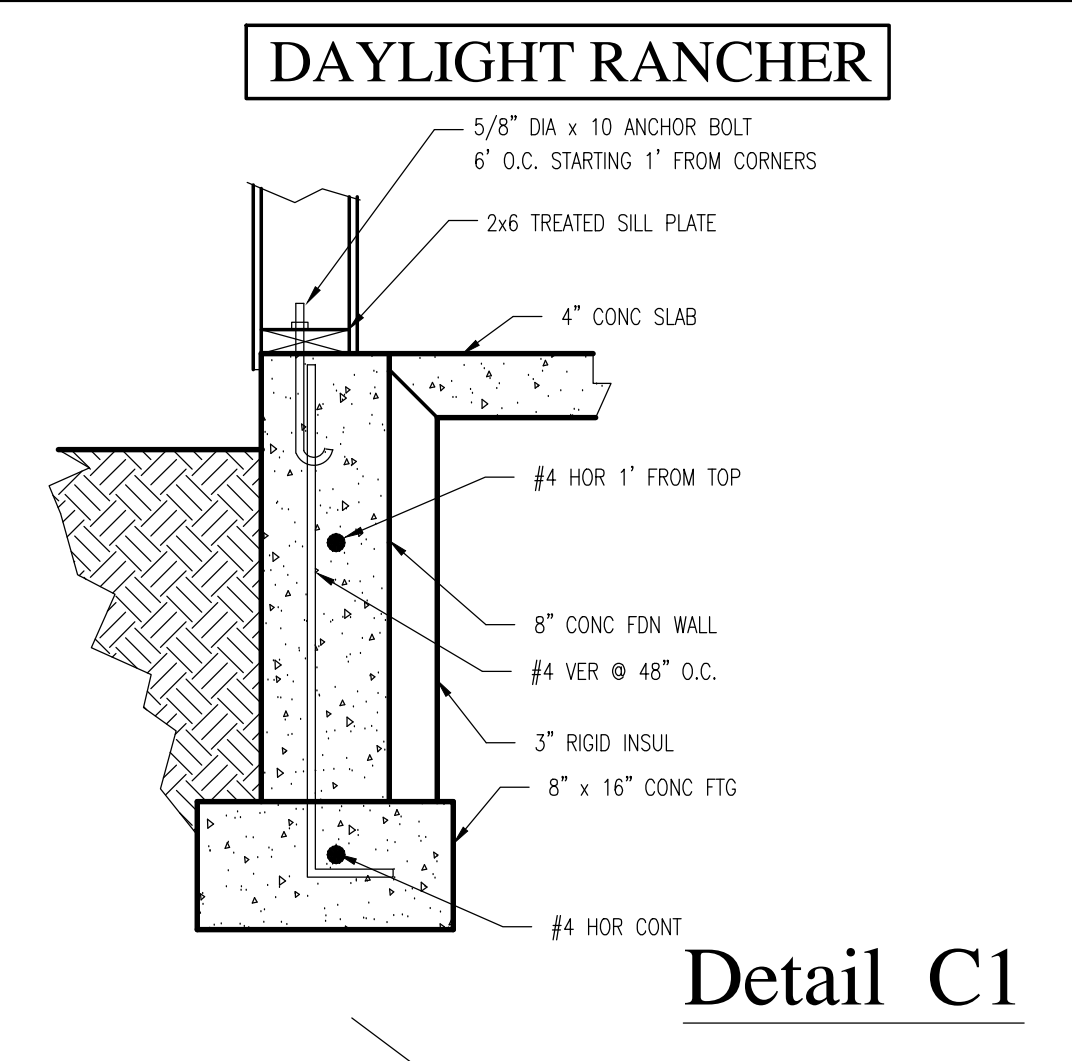
3



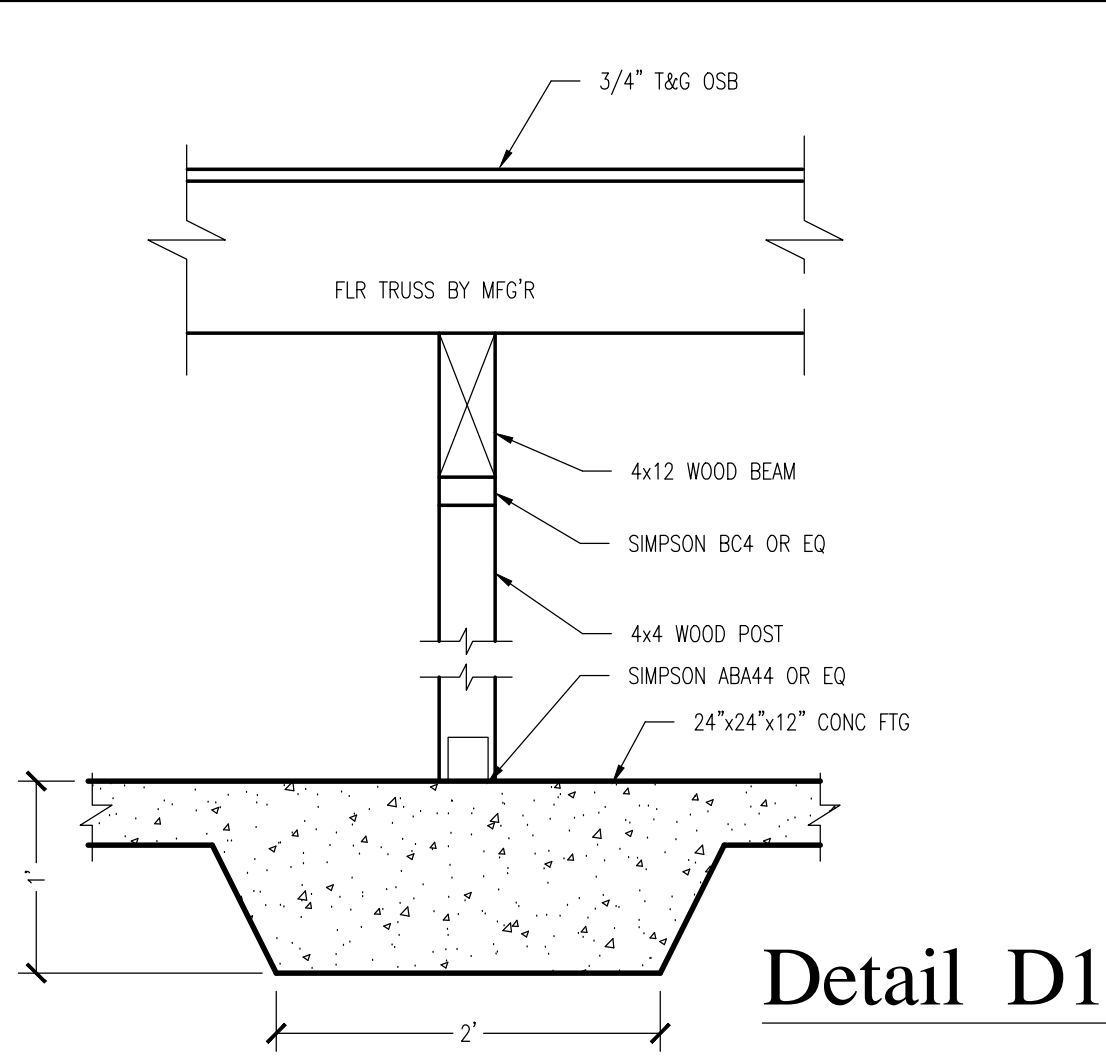
Detail A1
SCALE: 1" = 1'-0"



RAISED HEEL CONDITION TRUSS BLOCKING AS CALLED OUT



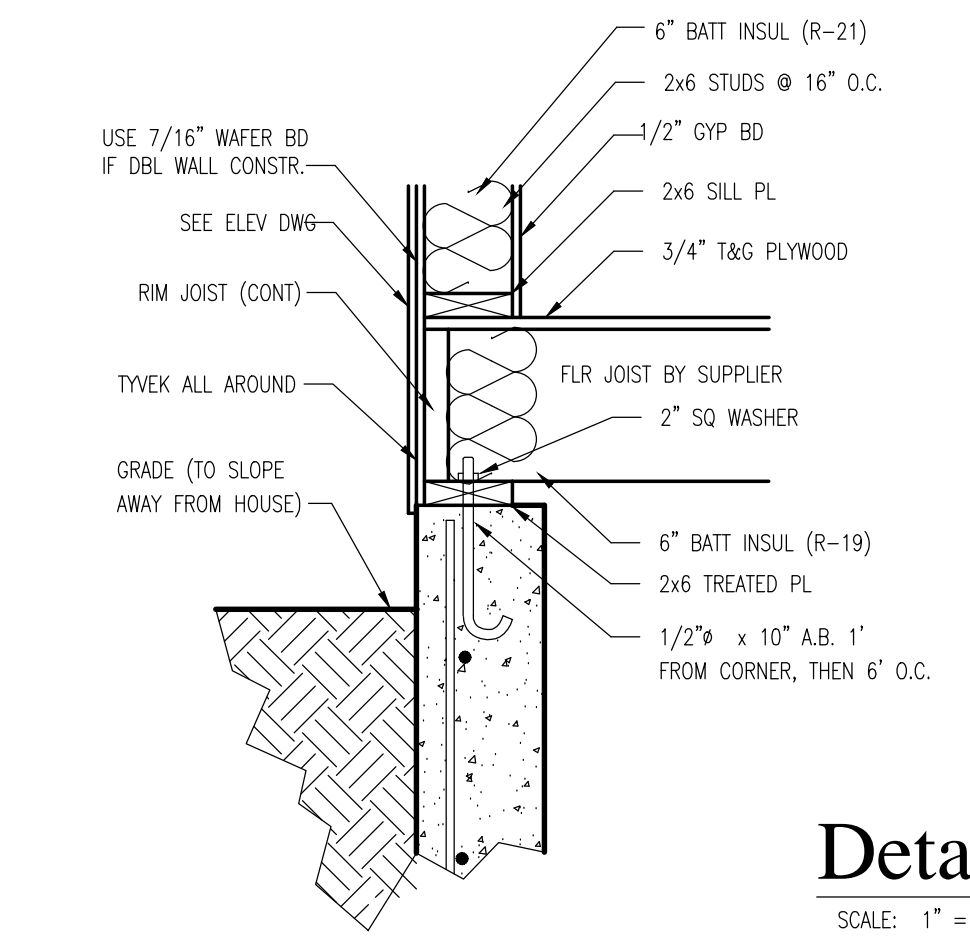
Detail C1



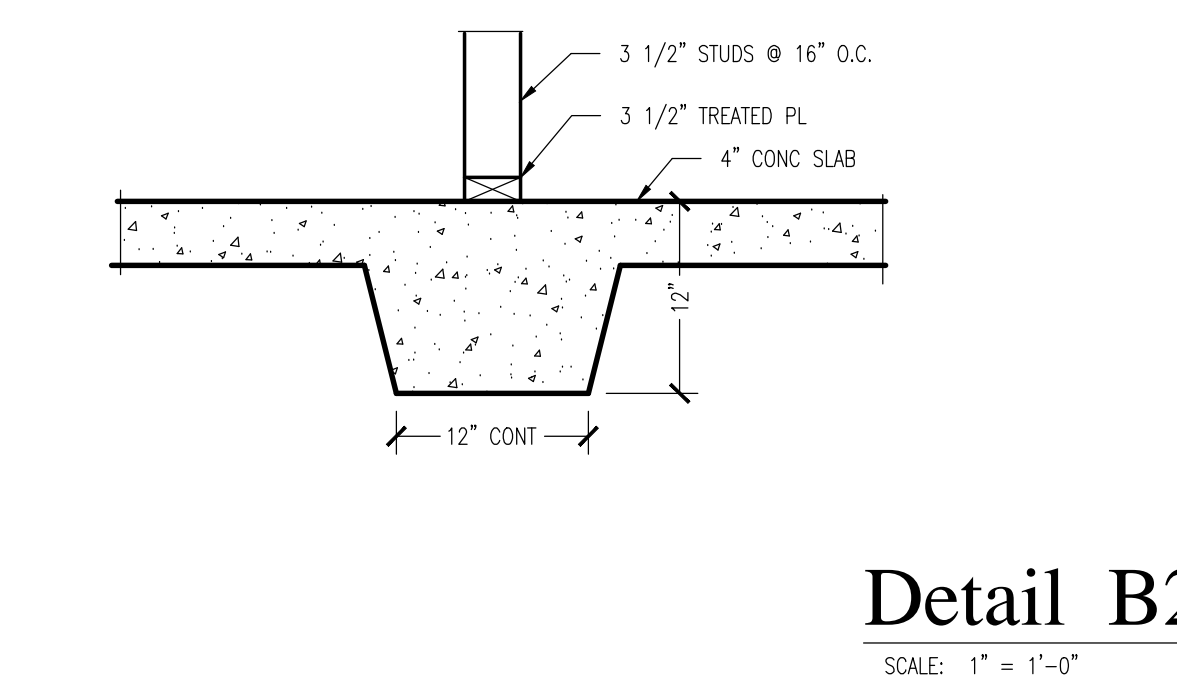
Detail D1

NOTE

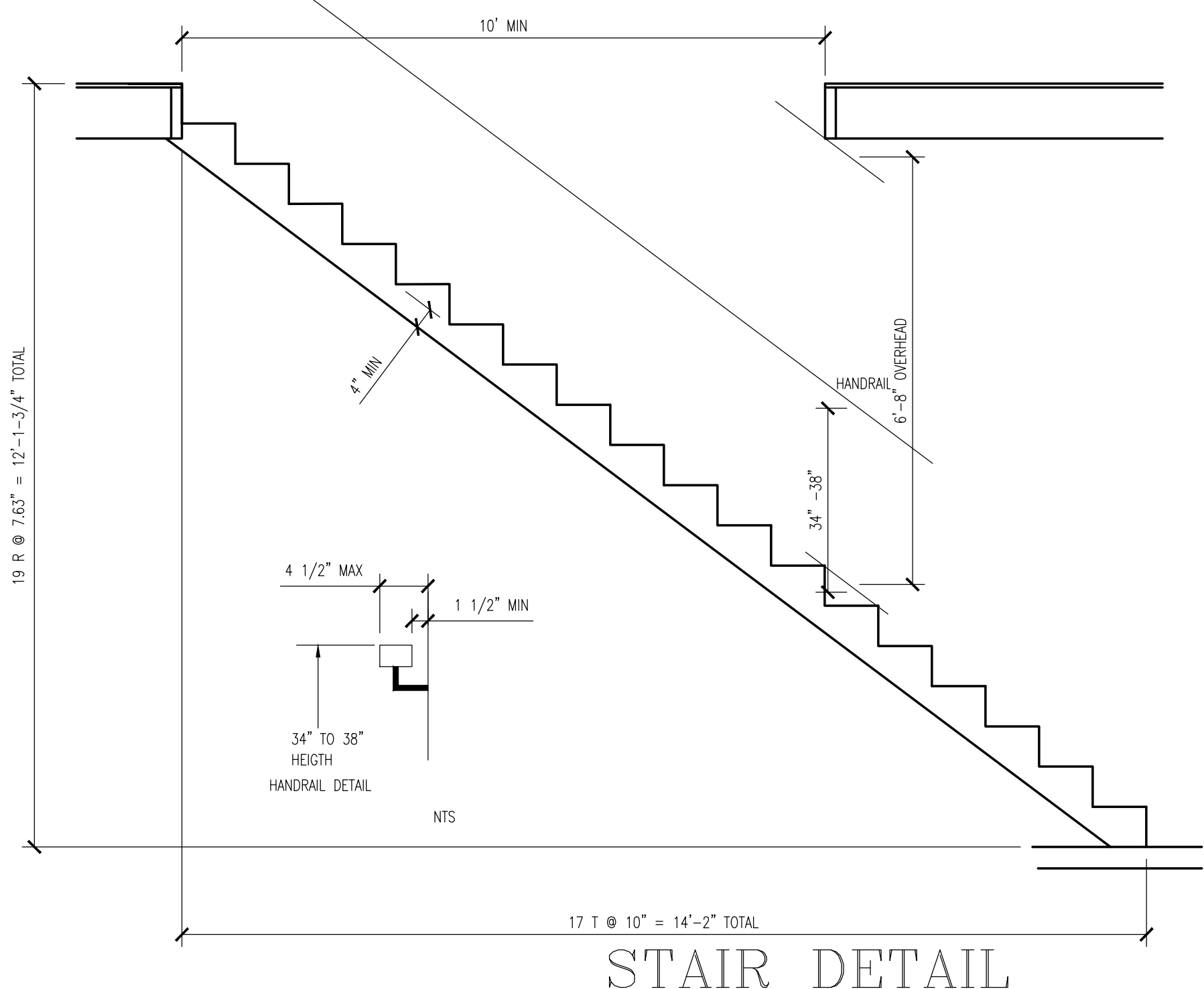
- The net free ventilation area shall be not less than 150 of the area of the space ventilated, except that the area may be 1/300 provided at least 50% of the req'd vent. area is provided by ventilators located in the upper portion of the space to be ventilated at least 3'-0" above eave or cornice vents with the balance of the req'd ventilation provide by eave or cornice vent.
- Soffit vents must be 3'-0" min. from any opening in exterior envelope (or 3" cont. if locally accepted).
- All plywood to be APA or DFPA approved only.
STRUCTURAL NOTES:
Loadings Floor @ 40# per SF LL - 10# per SF DL
Roof @ 30# per SF LL - 10# per SF DL Stair @ 100# per SF LL
- Framing Lumber - Fir and Larch S4S - 1200# per SF Fb for vertical and 1500# per SF horizontal. All lumber in contact with concrete to be Redwood or pressure treated.
- Approved sill anchors to start 1'-0" from all corners and 6'-0" O.C.



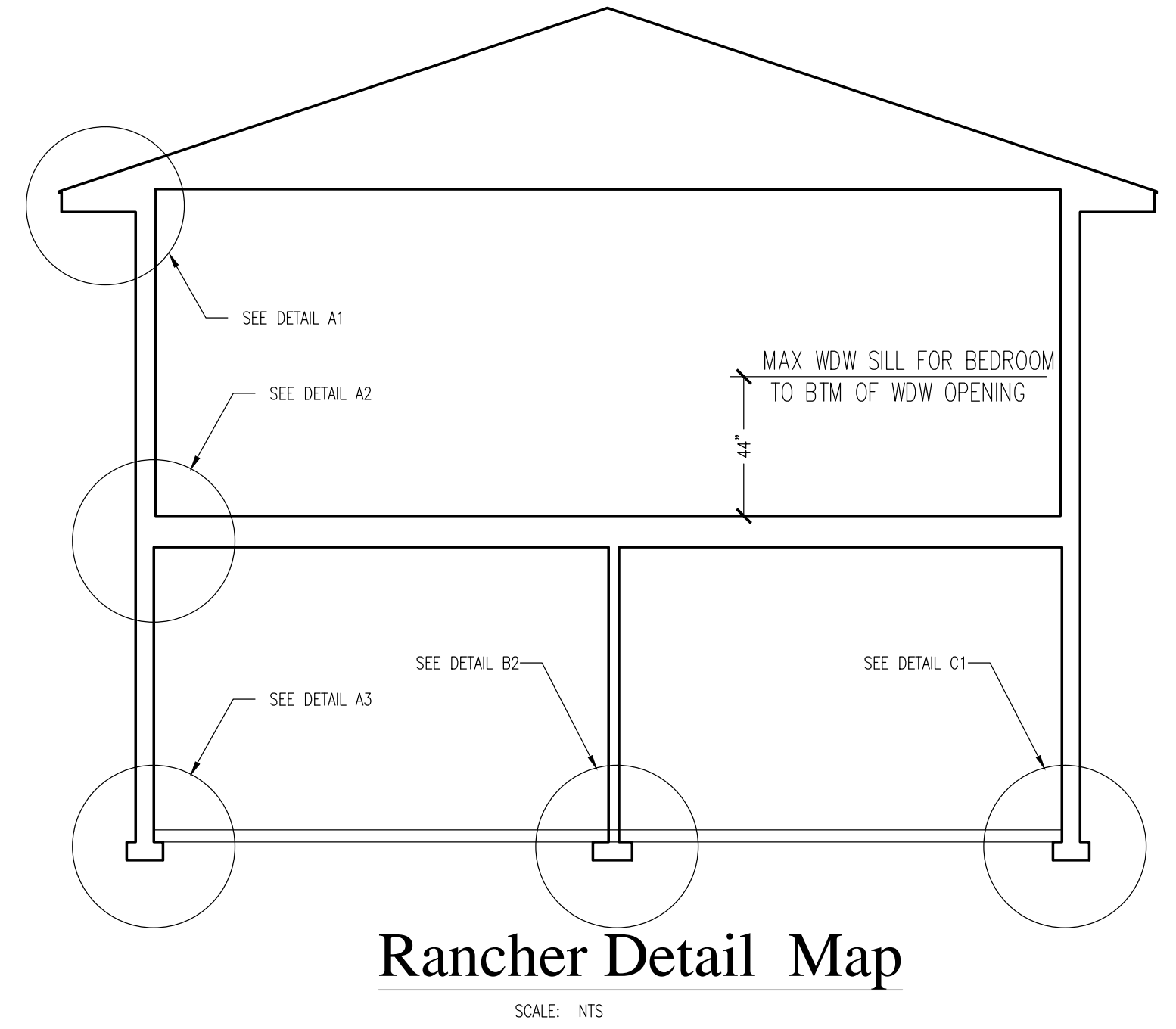
Detail A2
SCALE: 1" = 1'-0"



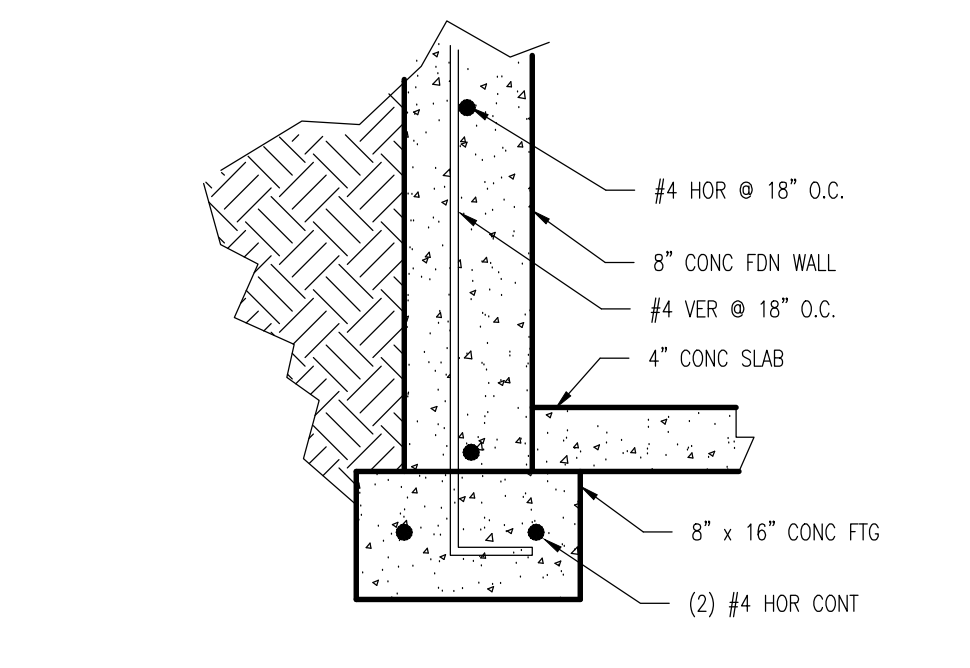
Detail B2
SCALE: 1" = 1'-0"



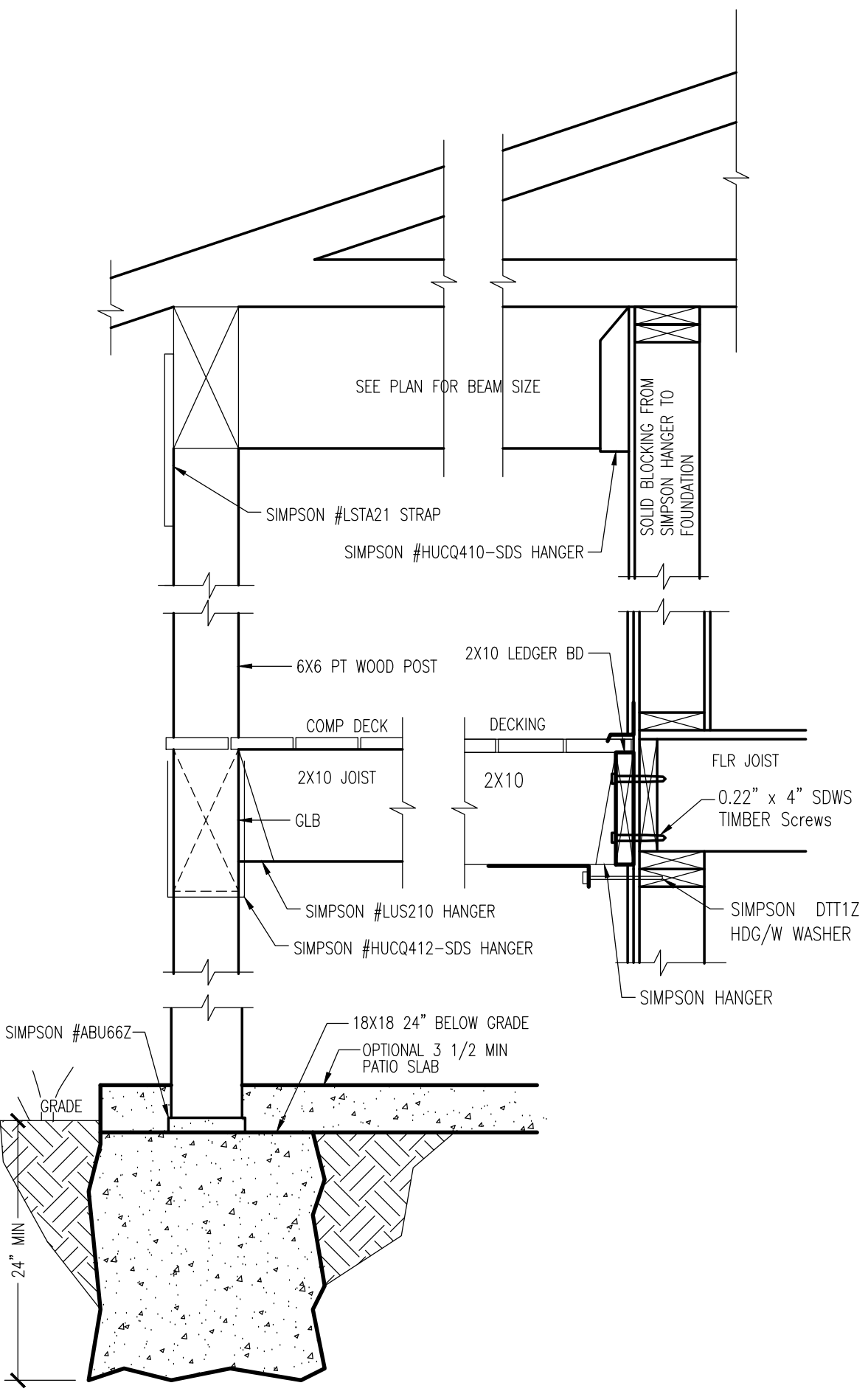
STAIR DETAIL



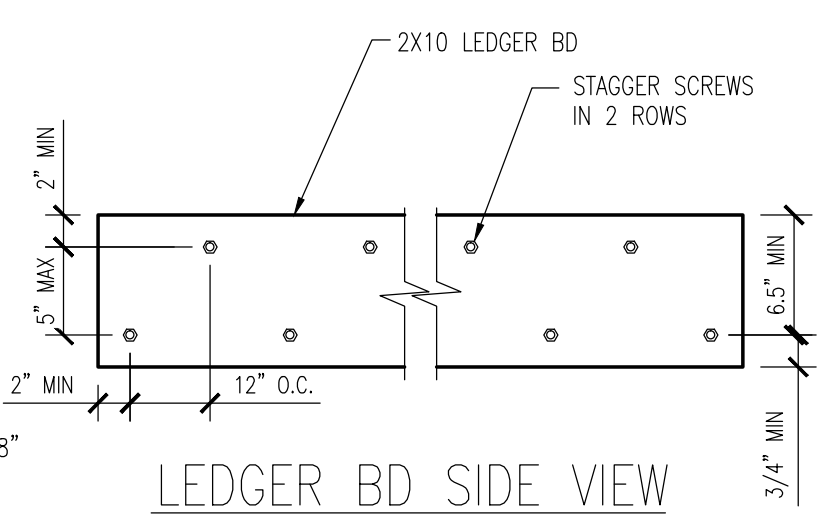
Rancher Detail Map
SCALE: NTS



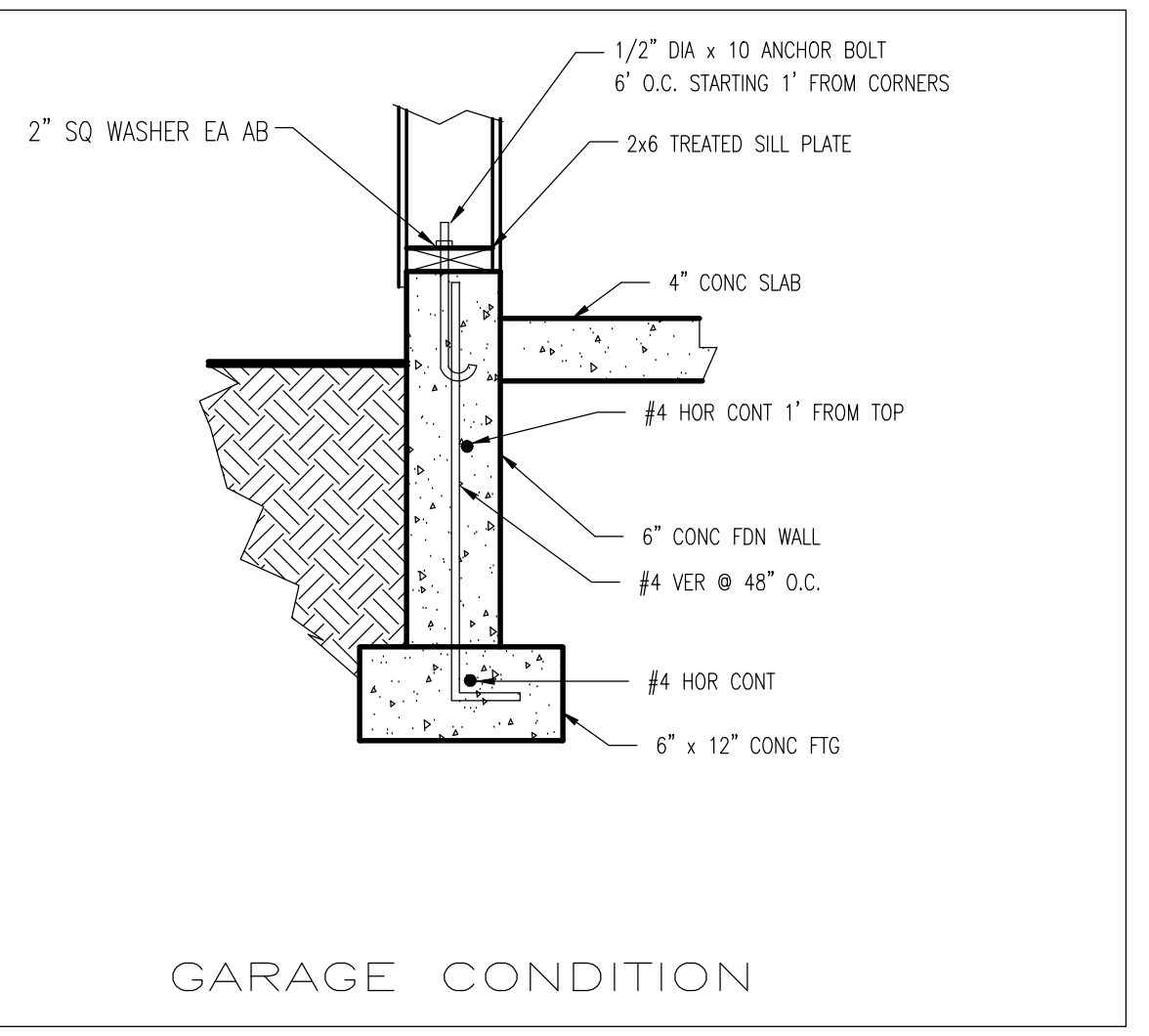
Detail A3
SCALE: 1" = 1'-0"



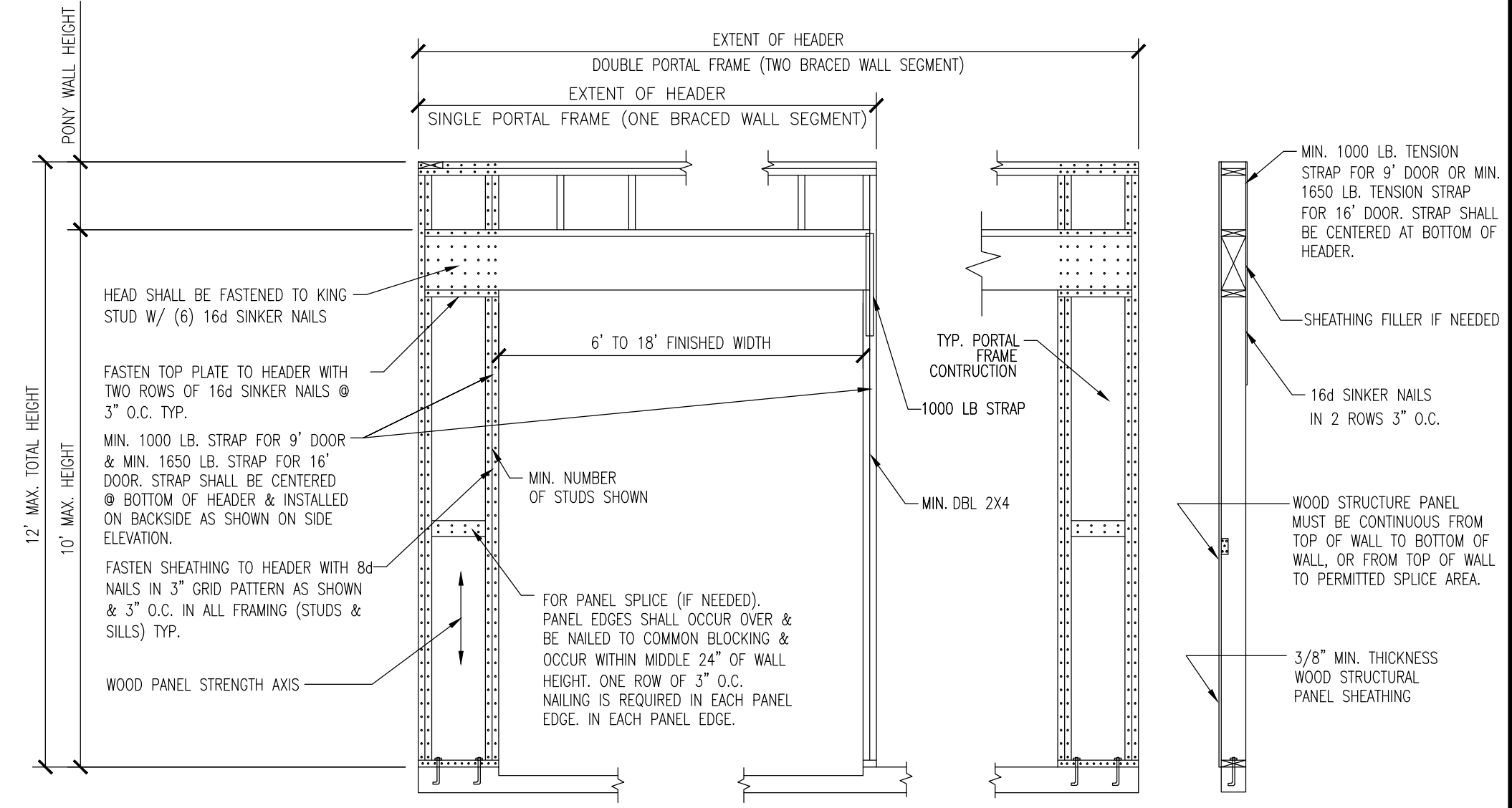
Detail B4 - DECK/ POST/ BEAM
NTS



LEDGER BD SIDE VIEW



Detail A4
SCALE: 1" = 1'-0"



CS-PF Portal Frame - Front View Side View

MCLEOD HOME DESIGNS
www.mcleodhomedesigns.com
1900 Fowler Street, Suite F
Richland, WA 99352 509-528-2884

Altman Middle Lot
APN 3024059001

Building Information:

Main Floor SQ FT:	2293
Second Floor SQ FT:	0
Basement SQ FT:	2293
TOTAL SQ FT:	4586
Unfinished SQ FT:	0
Garage SQ FT:	768
Covered Area SQ FT:	579

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THIS PLAN IS FOR ONE TIME CONSTRUCTION USE.

Section & Details 1
ALTMAN'S MIDDLE LOT
4530 SF Rancher
BUILDING ADDRESS: Mercer Island - APN 3024059001

DWG R4530X0A MIDDLE LOT.dwg

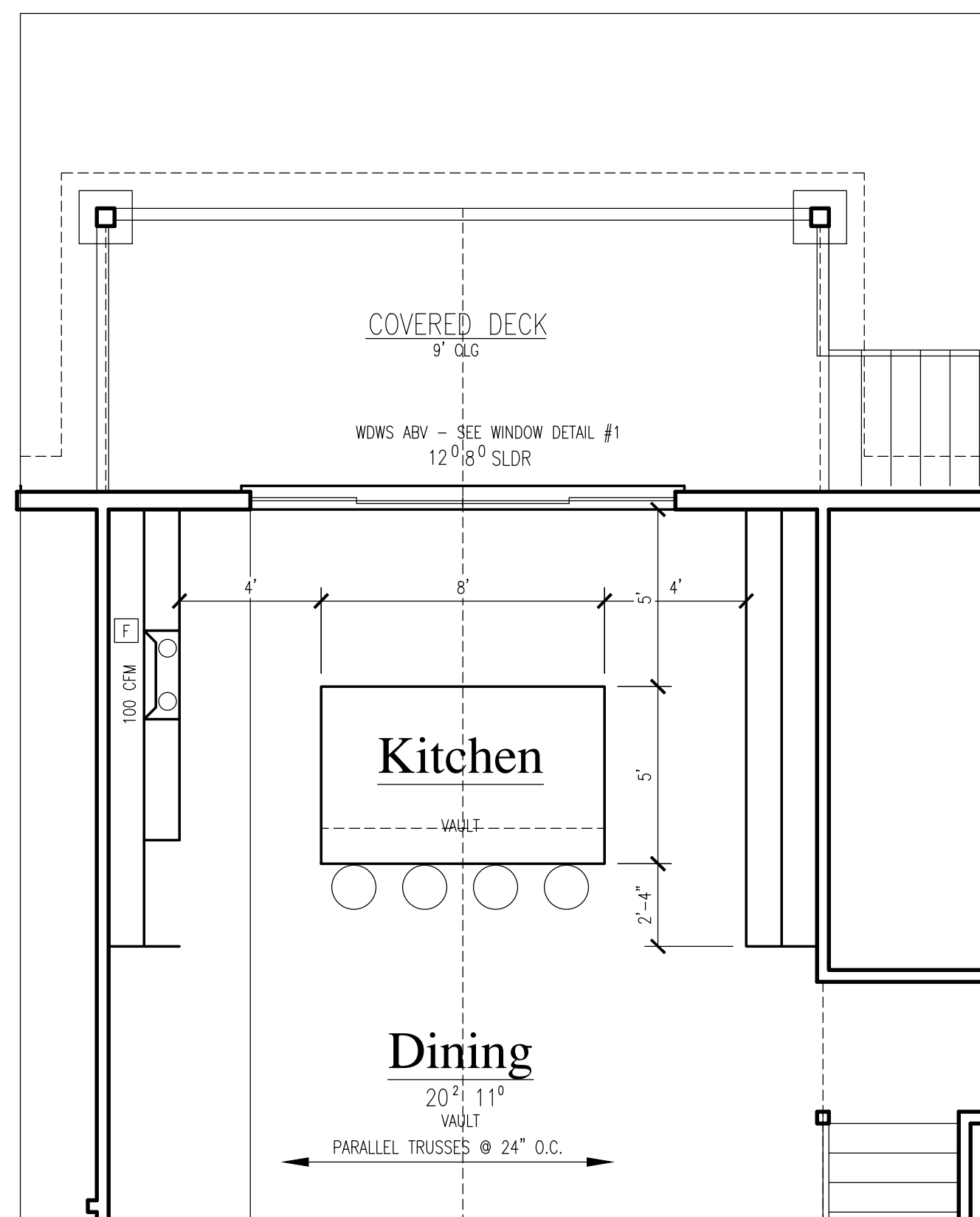
Date:	4/8/20 5:37:PM
By:	Mark McLeod
Scale:	1/4" = 1"
Approved:	

4
REV: 0 4/8/20

OPTIONARY LAYOUTS

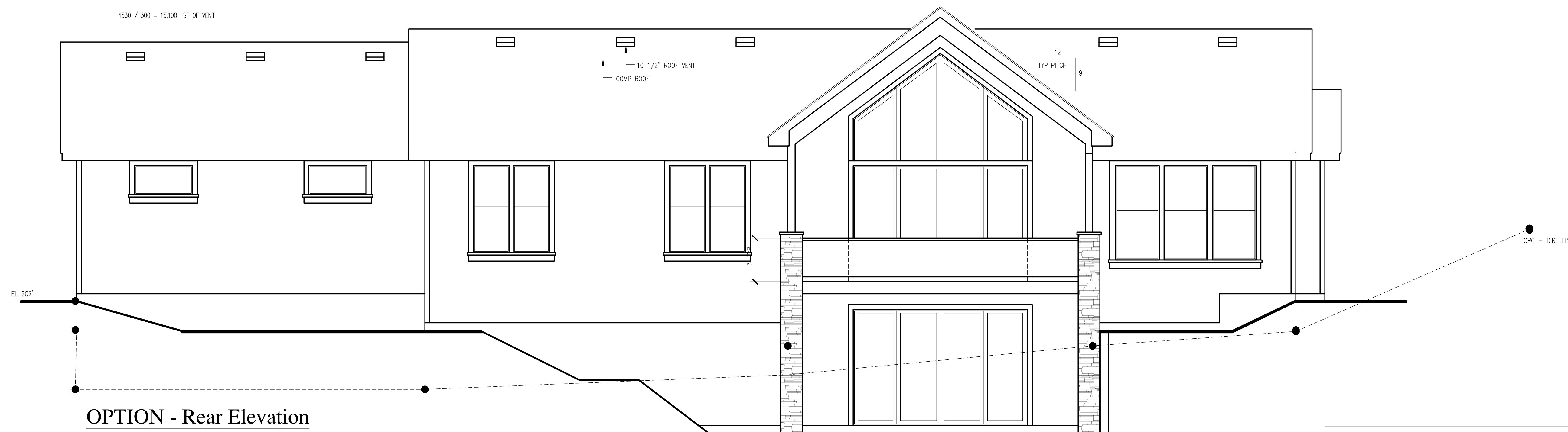
DIFFERENT KITCHEN LAYOUT
 KITCHEN WALL TO HAVE LARGE SLIDER DOOR
 BASEMENT WALKOUT DAYLIGHT BOTH SIDES

OPTION - KITCHEN LAYOUT



NOTE:
 PROVIDE VENTILATION PER IRC AREA / 300, IF 50% IS
 PROVIDED BY SOFFIT VENT

4530 / 300 = 15,100 SF OF VENT



OPTION - Rear Elevation



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OPTION LAYOUTS

ALTMAN'S MIDDLE LOT
 4530 SF Rancher
 BUILDING ADDRESS: Mercer Island - APN 3024059001

DWG R4530X0A MIDDLE LOT.dwg
Date 4/8/20 5:37:PM
By: Mark McLeod
Scale 1/4" = 1'
Approved

Engineering Required

ALL POSTS, SHEAR WALLS, BEAMS, FOUNDATION, FOOTINGS,
 & OTHER STRUCTURAL MEMBERS TO BE FULLY ENGINEERED
 AS NEEDED.

ALL ENGINEERING DOCUMENTATION, FLOORING, AND ROOF
 PACKAGES SUPERCEDED THESE DRAWINGS.

5

REV: 0 4/8/20